



## The Bruno Residence

47 RIDGE ST

COS COB, CT 06807

### DRAWING LIST

#### ARCHITECTURAL

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### INSTRUCTIONS TO BIDDERS

GENERAL CONTRACTORS BIDS ARE TO BE BASED ON ESTIMATE DOCUMENTS DATED 04-19-2023

\* BIDS ARE BASED ON THESE INSTRUCTIONS, ESTIMATE DOCUMENTS ATTACHED AND THE FOLLOWING UNEXECUTED CONTRACT DOCUMENTS:

NOTICE OF 3DAY CANCELLATION FORM  
STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR  
AIA DOCUMENT A101-2017  
INSURANCE AND BONDS AIA DOCUMENT A101 EXHIBIT A  
GENERAL CONDITIONS OF CONTRACT FOR CONSTRUCTION  
AIA DOCUMENT A201-2007  
CHANGE ORDER AIA DOCUMENT G701-2001  
APPLICATION AND CERTIFICATE OF PAYMENT AIA DOCUMENT G701-1992  
CERTIFICATE OF SUBSTANTIAL COMPLETION AIA DOCUMENT G704-2017  
CONTRACTORS AFFIDAVIT OF RELEASE OF LIENS  
AIA DOCUMENT G706A-1994

\* TO SCHEDULE MANDATORY SITE VISIT PLEASE CONTACT OWNERS:  
OWNER: VICTOR BRUNO VICTOR\_BRUNO@MAC.COM

\* CONTRACTORS AND SUB-CONTRACTORS SHALL VISIT SITE AND BECOME ACQUAINTED WITH SCOPE OF WORK REQUIRED FOR THE SATISFACTORY COMPLETION OF PROPOSED PROJECT. ANY QUESTIONS ARE TO BE DIRECTED TO THE ARCHITECT AND OWNERS IN WRITING AND ANSWERS FORWARDED TO ALL BIDDERS.

ARCHITECT: LOUIS CONTADINO LOUIS@CONTADINOARCHITECTS.COM

\* ALL ESTIMATES ARE REQUESTED WITHIN 3 WEEKS OF RECEIPT OF THESE INSTRUCTIONS.

\* ESTIMATE TO INCLUDE BUILDING PERMIT ACQUISITION AND ALL MUNICIPAL FEES.

\* FORWARD ALL ESTIMATES TO OWNERS AND ARCHITECT FOR REVIEW.

\*SEE ADDITIONAL SITE INFORMATION/SITE PLAN PREPARED BY CIVIL ENGINEER AND SURVEYOR.

1) ALL CABINETS, COUNTERTOP, AND HARDWARE (KITCHEN, PANTRY, BATHROOMS, LAUNDRY, MUDROOM, GARAGE, POOL LOUNGE, BAR) BY OWNER, INSTALLED BY OWNER. G.C. TO COORDINATE.

2) ALL APPLIANCES (KITCHEN/LAUNDRY, BUTLER'S PANTRY) TO BE SELECTED BY OWNER. G.C. TO PURCHASE AND INSTALL.

3) ALL PLUMBING FIXTURES (KITCHEN, LAUNDRY, BATHROOMS) TO BE SELECTED BY OWNER. G.C. TO PURCHASE AND INSTALL.

4) BATHROOM SHOWER DOORS TO BE SELECTED BY OWNER. G.C. TO PURCHASE AND INSTALL.

5) BATHROOM FIXTURES TOWEL BARS, MIRRORS, TOWEL WARMER, ETC) TO BE SELECTED BY OWNER. G.C. TO PURCHASE AND INSTALL.

6) ALL SURFACE MOUNTED LIGHT FIXTURES (SCONES, FANS, PENDANTS, ETC) SELECTED BY OWNER. G.C. TO PURCHASE AND INSTALL.

7) ALL TILE (FLOORS, WALLS, AND SHOWER CEILING) TO BE SELECTED BY OWNER. G.C. TO PURCHASE AND INSTALL.

8) ALL SPECIALTY FINISHES (WALL PAPER, MURALS, PAINTING) BY OWNER.

9) ALL INTERIOR AND EXTERIOR PAINTING BY G.C. BENJAMIN MOORE OR APPROVED EQUAL.

10) ALL WINDOW TREATMENT BY OWNER.

11) ALL AUDIO/SECURITY/INTERNET BY OWNER.

12) ALL STORAGE ROOMS, PANTRY, CLOSETS, POLES AND SHELVES BY OWNER. INSTALLED BY OWNER. G.C. TO COORDINATE.

13) DRIVEWAY, RETAINING WALL, AND WALKWAY INSTALLATION TO BE INCLUDED IN BID.

14) LANDSCAPE, LANDSCAPE LIGHTING, IRRIGATION: BY OWNERS. G.C. TO COORDINATE IF APPLICABLE.

### COST OPTIONS

PROVIDE COST OPTION FOR:

- 1) JAMES HARDIE PRE-PAINTED STRAIGHT SHINGLES VS JAMES HARDIE SMOOTH PRE-PAINTED LAP SIDING.
- 2) SAF TIMBERLINE HDZ ROOF SHINGLES VS SAF SLATE LINE DESIGNER ROOF SHINGLES.
- 3) 4" SELECT WHITE OAK FLOORING VS 2.25" WHITE OAK SELECT.

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

ALTERATIONS AND ADDITIONS TO THE:

**BRUNO RESIDENCE**

47 RIDGE STREET  
COS COB, CT 06807

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09-19-2023

REV. DATE

CS

COVER SHEET

ISSUED FOR PERMIT 09-19-2023



## GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VISIT THE AREAS AFFECTED BY THIS WORK TO BECOME FAMILIAR WITH ANY PERTINENT FIELD CONDITIONS AND CRITICAL DIMENSIONS AND ALL DIFFICULTIES THAT WILL ATTEND THE EXECUTION OF THIS WORK. GENERAL CONTRACTOR SHALL PERFORM THIS INSPECTION PRIOR TO SUBMITTING HIS PROPOSAL. THE SUBMISSION OF A PROPOSAL SHALL BE CONSIDERED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR. MATERIALS OR EQUIPMENT EXAMINATION OR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE.

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH COULD INTERFERE WITH THE SATISFACTORY COMPLETION OF ALL WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT AS HEREIN PROVIDED, THE GENERAL CONTRACTOR SHALL BE DEEMED TO HAVE FOUND SUCH PLANS, DRAWINGS AND/OR SPECIFICATIONS IN PROPER FORM FOR EXECUTION.

2. ALL MATERIAL OR LABOR FOR WORK WHICH IS SHOWN ON THE DRAWINGS AND SPECIFICATIONS OR IS REASONABLY INFERRABLE THEREIN AS BEING NECESSARY TO PRODUCE A FINISHED JOB SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WHETHER OR NOT THE WORK IS EXPRESSLY COVERED IN THE DRAWINGS AND SPECIFICATIONS. THIS APPLIES TO ALL WORK WITH THE EXCEPTION OF THOSE ITEMS INDICATED N.I.C. (NOT IN CONTRACT) OR BY OTHERS.

3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ANY CODE OR CODES OF FEDERAL, STATE, COUNTY OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. ALL APPLICABLE REQUIREMENTS IN THESE REGULATIONS SHALL BE FOLLOWED THE SAME AS IF NOTED ON THE DRAWINGS AND BUILDING CODES. LATEST REGULATIONS NOTED BY THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK.

4. THE GENERAL CONTRACTOR (G.C.) SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND OWNER REQUIREMENTS.

5. IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO DISTRIBUTE ADEQUATE & ACCURATE DRAWINGS TO ALL TRADES FALLING UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE JOB (I.E. REVISIONS).

6. G.C. SHALL KEEP PREMISES FREE OF ALL CONSTRUCTION DEBRIS. G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL OF RUBBISH AND OFF-SITE DISPOSAL IN A RESPONSIBLE MANNER.

7. ALL WORK SHALL BE EXECUTED IN COMPLIANCE WITH THE HIGHEST PROFESSIONAL STANDARDS OF THE INDUSTRY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING BUILDING TRADES PERFORMING WORK OR DAMAGED WORK SHALL BE RECTIFIED AT NO COST TO THE OWNER.

8. THE G.C. SHALL FILE PLANS WITH THE BUILDING DEPARTMENT AND/OR OTHER AUTHORITIES AS PRESCRIBED BY LAW. THE G.C. SHALL OBTAIN ALL NECESSARY PERMITS AND INCLUDE IN THE CONTRACT ALL REQUIRED FEES.

9. G.C. SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK, ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH OTHER TRADES AND CONFIRM WITH OTHER SUBCONTRACTORS WHOSE WORK MIGHT AFFECT THEIR INSTALLATION. G.C. SHALL ALSO ARRANGE ALL WORK IN A PROPER SEQUENCE AND FINISH SO THAT THE NEW WORK WILL HARMONIZE IN SERVICE AND APPEARANCE WITH THE EXISTING CONSTRUCTION.

10. NO EXTRA WORK OR CHANGES SHALL BE MADE UNLESS IN PURSUANCE OF A WRITTEN COUNTERSIGNED ORDER FROM THE OWNER STATING THAT THE OWNER HAS AUTHORIZED THE CHANGES AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO ORDERED.

11. G.C. SHALL SUBMIT ALL SHOP DRAWINGS (2 PRINTS EACH) AND SAMPLES AND CATALOG CUTS (2 EACH) OF ALL NEW WORK FOR APPROVAL TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. CHECKING IS ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. ANY ACTION SHOWN IS SUBJECT TO THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION COORDINATION OF HIS WORK WITH THAT OF ALL OTHER TRADES AND THE SATISFACTORY PERFORMANCE OF HIS WORK.

12. AFTER AWARD OF CONTRACT G.C. SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL A SCHEDULE OF WORK SHOWING DATES FOR DELIVERY AND INSTALLATION OF VARIOUS ITEMS OF WORK CONFORMABLE TO THE SCHEDULE OF WORK FOR THE ENTIRE PROJECT. G.C. IS TO INFORM THE ARCHITECT WITHIN FIVE (5) DAYS IF THERE WILL BE ANY PROBLEM AS TO AVAILABILITY, DELIVERY OR INSTALLATION OF ANY SPECIFIED ITEMS. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT AS HEREIN PROVIDED, THE G.C. SHALL BE DEEMED TO HAVE ACKNOWLEDGED THAT ALL SPECIFIED ITEMS WILL BE USED AND SHALL BE DELIVERED AND INSTALLED BY THE COMPLETION DATE.

13. THE G.C. SHALL NOTE THAT THERE SHALL BE NO SUBSTITUTIONS OF ANY MATERIAL WHERE SPECIFIC MANUFACTURERS ARE SPECIFIED UNLESS PREVIOUSLY APPROVED BY THE ARCHITECT.

14. IF G.C. AND SUBCONTRACTORS ARE NOT TO SCALE DRAWINGS.

15. IF, WITHIN ONE (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, OR WITHIN SUCH LONGER PERIOD OF TIME AS PRESCRIBED BY LAW OR BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS, ANY OF THE WORK IS FOUND BY THE OWNER TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE ORIGINAL DOCUMENTS, THE G.C. OR OWNER'S OWN CONTRACTOR (WHOMEVER PERFORMED ORIGINAL WORK) SHALL CORRECT IT PROMPTLY AT NO COST TO OWNER AFTER RECEIPT OF WRITTEN NOTICE PROMPTLY AFTER DISCOVERY OF THE CONDITIONS.

16. ANY DIFFERENCES BETWEEN THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS OR ANY DIFFERENCES AS NOTED WITHIN THE DRAWINGS THEMSELVES, OR WITHIN THE SPECIFICATIONS THEMSELVES, SHALL BE REFERRED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF BIDS. THE ARCHITECT, AT HIS DISCRETION, SHALL DECIDE WHICH OF THE CONFLICTING REQUIREMENTS WILL GOVERN. THE G.C. OR OWNER'S OWN CONTRACTOR (WHOMEVER IS RESPONSIBLE FOR THE WORK AS NOTED ON DRAWINGS) SHALL PERFORM THE WORK AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE ARCHITECT'S DECISION.

17. UPON COMPLETION OF JOB, THE G.C. SHALL SUBMIT CERTIFICATES OF INSPECTION FROM THE LOCAL DEPARTMENT OF WATER SUPPLY, GAS AND ELECTRICITY, AND A CERTIFICATE OF SATISFACTORY COMPLETION.

18. NO WORK INVOLVING EXTRA COSTS SHALL COMMENCE UNTIL ALL ADDITIONAL COSTS HAVE BEEN APPROVED BY OWNER.

19. ELECTRICAL OUTLET PLACEMENT IS FOR LOCATION ONLY; REFER TO ELECTRICAL DRAWINGS FOR CIRCUITING AND LOADS.

20. THE G.C. SHALL NOT ERECT ANY PARTITIONS UNTIL THE ARCH. REPRESENTATIVE VERIFIES LINES SHOWN IN FIELD. G.C. SHALL NOTIFY THE ARCHITECT 24 HOURS PRIOR TO SNAPPING LINES.

21. G.C. TO INSTALL ALL REQUIRED WOOD GROUND AND BLOCKING, ELECTRICAL POWER AND CONNECTIONS AND PLUMBING ROUGHING AND CONNECTIONS FOR APPLIANCES, SINKS AND WALL HANG CABINETS.

22. ALL PARTITIONS SHALL RECEIVE THREE COATS OF PAINT; (ONE) COAT, PRIMER SEALER, AND TWO FINISH COATS.

23. ALL PARTITIONS SHALL BE PROPERLY PREPARED, SPACKLED AND SANDED, TO PROVIDE A PERFECTLY SMOOTH FINISH AND SURFACE.

24. PAINTING TO BE IN COLORS AS SELECTED BY OWNER/ARCHITECT.

25. DIFFUSERS, GRILLES, ACCESS DOORS, BUCKS AND OTHER METAL WORK TO BE SEMI-GLOSS FINISH AND TO BE SAME COLOR AS WALL. IN WHICH THEY OCCUR, IF WALL IS FINISHED IN WALL COVERING OR CLOTH, MATCH COLOR AS CLOSELY AS POSSIBLE.

26. G.C. SHALL BE RESPONSIBLE FOR HVAC SYSTEM PERFORMANCE AND CODE COMPLIANCE.

27. ARCHITECT'S DRAWINGS ARE PREPARED ASSUMING THAT BUILDING STANDARD, OR AVAILABLE MECHANICAL AND ELECTRICAL FACILITIES ARE SUFFICIENT FOR THE GIVEN PROJECT. VERIFICATION OF EXISTING CAPACITIES IN RELATIONSHIP TO CLIENT NEEDS IS THE RESPONSIBILITY OF THE MECHANICAL AND ELECTRICAL ENGINEERS. THIS INCLUDES CHECKING VOLUME AND TEMPERATURES OF AIR BEING SUPPLIED TO THE AREA PRIOR TO ANY DUCTWORK DESIGN. ARCHITECT TO BE NOTIFIED IF QUANTITIES ARE INADEQUATE.

28. IN ABSENCE OF ENGINEERING DRAWINGS, THESE RESPONSIBILITIES SHALL BECOME THE G.C.'S. IT SHALL BE ASSUMED THAT THE SUBMISSION OF THE G.C.'S PROPOSAL INDICATES POSITIVE CONFIRMATION OF THE ADEQUACY OF THE BUILDING MECHANICAL AND ELECTRICAL SERVICES AVAILABLE FOR SPECIFIED PROJECT.

29. IN THE ABSENCE OF ENGINEERING DRAWINGS, G.C. IS TO PROVIDE COMPLETE ENGINEERING SERVICES AND DRAWINGS FOR THE OWNER'S AIR CONDITIONING, PLUMBING AND ELECTRICAL SYSTEMS. SERVICES TO INCLUDE, BUT NOT BE LIMITED TO: DUCTWORK SIZING AND LAYOUT, FIRE AND COLUMN DAMPER LOCATIONS, DIFFUSER AND REGISTER LOCATIONS, PREPARATION AND SEALING OF REQUIRED UNITS AND EQUIPMENT DESIGN, DUCTWORK SIZING AND LAYOUT, FIRE AND COLUMN DAMPER LOCATIONS, DIFFUSER AND REGISTER LOCATIONS.

30. ALL ENGINEERING DRAWINGS AND SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. APPROVAL SHALL BE FOR CONFORMANCE TO DESIGN LAYOUT AND AESTHETIC CONSIDERATION ONLY.

31. ALL HVAC, PLUMBING AND ELECTRICAL DESIGN WORK SHALL CONFORM TO INDUSTRY STANDARDS AND SHALL BE IN COMPLIANCE WITH LOCAL AND STATE LAWS AND THE BUILDING CODE OF REGULATORY AGENCIES HAVING JURISDICTION.

32. G.C.'S ENGINEERING SERVICES TO INCLUDE BALANCING OF AIR CONDITIONING WITHIN ALTERED STANDARDS, BALANCING REPORT TO BE SUBMITTED TO ARCHITECT.

33. ALL MANUFACTURER'S AND FABRICATOR'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED.

34. ALL PRODUCTS AND MATERIALS MUST BE PROVIDED AND INSTALLED IN STRICT CONFORMANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATIONS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY AND IN WRITING BEFORE ANY WORK BEGINS.

35. OWNER/CONTRACTOR TO VERIFY ALL MATERIALS AND MANUFACTURED ITEMS FOR CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

36. MATERIALS SHALL BE PROTECTED DURING SHIPMENT AND SHALL BE INSPECTED FOR DAMAGED UPON DELIVERY TO THE JOB SITE. THOSE THAT ARE DAMAGED AND CANNOT BE REMOVED FROM THE SITE AND REPLACED AT CONTRACTOR'S EXPENSE. MATERIAL SHALL BE STORED IN A AREA THAT IS DRY, PROTECTED AND VENTILATED PROPERLY FOR THE MATERIAL STORED.

37. CONTAINING ARCHITECTS WILL NOT ASSUME RESPONSIBILITY FOR UNAUTHORIZED VARIATIONS TO THE PLANS AND/OR SPECIFICATIONS CONTAINED HEREIN.

38. G.C. SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS AND UNTIL COMPLETION OF ALL WORK.

39. G.C. IS RESPONSIBLE FOR PROVIDING A SAFE WORKING ENVIRONMENT ACCORDING TO OSHA STANDARDS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO SCAFFOLDING, LADDERS, FALL PROTECTION, HEAD PROTECTION, STAIRWAYS, ETC.

40. G.C. SHALL HAVE THE ADDITION/BUILDING LOCATION STAKED OUT IN THE FIELD BY A LICENSED SURVEYOR TO VERIFY CONFORMANCE WITH THE ZONING ORDINANCE BEFORE ANY CONSTRUCTION BEGINS, AND MAINTAIN STAKES AS REQUIRED.

41. G.C. SHALL INCLUDE IN BID PRICE AND PROVIDE THE FOLLOWING:

A. TEMPORARY SERVICES;

1. TOILET FACILITIES

B. CONSTRUCTION FACILITIES;

2. ROCK EXCAVATION AS REQUIRED

3. Dewatering and PUMPING IF REQUIRED

4. SITE ACCESS

C. SECURITY AND PROTECTION;

1. FIRE EXTINGUISHERS

2. TEMPORARY SMOKE, FIRE, AND CARBON MONOXIDE DETECTION

3. SITE AND BUILDING ENCLOSURE AND LOCK-UP

4. ENVIRONMENTAL PROTECTION AS REQ. PER TOWN REGULATIONS

5. PEST CONTROL DURING AND AT END OF PROJECT

6. SNOW AND ICE REMOVAL IF APPLICABLE

D. PERSONNEL SUPPORT

1. PROJECT IDENTIFICATION SIGN

2. PROGRESS SITE CLEANING OF CONSTRUCTION DEBRIS

3. FINAL SITE AND HOUSE CLEANING

## GENERAL NOTES

1. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR THE APPROVED SIZE AND LOCATION OF ALL OPENINGS THROUGH ROOF, FLOORS AND WALLS.

2. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFICALLY NOTED.

3. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED TO MAINTAIN STABILITY OF THE STRUCTURE DURING CONSTRUCTION.

## CONCRETE NOTES

1. MATERIAL: F'C - 3000 PSI AT 28 DAYS.

2. ALL CONCRETE EXPOSED TO WEATHER INCLUDING CONCRETE FOR EXTERIOR FOUNDATION WALLS SHALL BE AIR-ENTRAINED.

3. ROD REINFORCEMENT SHALL BE IN ACCORDANCE WITH ASTM A615, GRADE 60 TYPICALLY, GRADE 40 FOR TIES AND STIRRUPS.

4. MESH REINFORCEMENT SHALL BE IN ACCORDANCE WITH ASTM A105 AND A62.

5. ALL DETAILS, WORKMANSHIP AND PROCEDURES SHALL CONFORM TO ACI 318, LATEST EDITION.

6. ALL BARS MARKED "CONT" SHALL BE LAPPED 40 BAR DIAMETERS AT SPLICES AND CORNERS AND SHALL BE HOOKED OR EXTENDED 2'-0" MINIMUM.

7. CONCRETE POURS IN WALLS SHALL NOT EXCEED 60 FT. IN LENGTH OR 40 FT. FORM A CORNER, NO HORIZONTAL CONSTRUCTION JOINTS IN WALLS ARE PERMISSIBLE.

8. CURING OF CONCRETE IS TO START AS SOON AS SURFACE WILL NOT BE MARRED BY FINISHING. IT WILL NOT BE PERMISSIBLE TO DELAY CURING UNTIL THE NEXT MORNING AFTER CONCRETE IS CAST.

## STRUCTURAL STEEL NOTES

1. MATERIAL: ASTM A36 FOR STRUCTURAL STEEL, ASTM A53 FOR STEEL PIPE.

2. WORKMANSHIP: AISC "SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.

3. SHOP AND FIELD CONNECTIONS SHALL BE WELDED USING E70xx SERIES ELECTRODES OR BOLTED WITH 3/4" DIAMETER A-325 FRICTION BOLTS.

4. BEAM CONNECTIONS SHALL BE GENERALLY IN ACCORDANCE WITH AISC MANUAL.

5. COLUMNS SHALL BE PLUMBED AND BRACED WITH TEMPORARY BRACES UNTIL LATERAL BRACING MEMBERS ARE IN PLACE.

## LUMBER NOTES

1. MATERIAL: DOUGLAS FIR LARCH NO. 2

2. TIMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

3. ALL FLUSH FRAMING TO BE SUPPORTED ON METAL HANGERS, WITH SAFE LOAD CARRYING CAPACITY OF REACTIONS INDICATED ON PLANS.

4. PROVIDE SOLID BRIDGING AT SUPPORT POINTS AND EVERY EIGHT FEET OF SPAN.

5. ALL SPLICES IN FRAMING MEMBERS TO OCCUR AT SUPPORT POINTS.

6. FLITCH BEAMS TO BE CONSTRUCTED WITH 1/2" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP AND BOTTOM. PROVIDE 1/2" CLEARANCE FROM TOP AND BOTTOM EDGE.

7. DOUBLE JOIST UNDER ALL NONBEARING PARTITION WALLS.

## FOUNDATION NOTES

1. ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION IS TO BEGIN SO THAT SOIL BEARING CAPACITY CAN BE VERIFIED AND FOOTING ELEVATIONS ADJUSTED IF REQUIRED.

2. BACKFILL WITH APPROVED MATERIAL, BACK FILLING UNDER SLAB, AROUND PIERS AND ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS, NOT TO EXCEED 12". COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.

3. EXCAVATION SHALL BE PROTECTED FROM FROST IN COLD WEATHER.

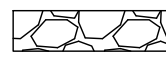
4. REMOVE ALL WATER FROM EXCAVATION PRIOR TO CONCRETE PLACEMENT.

5. CONTRACTOR SHALL NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL FIRST LEVEL FRAMING IS SECURED IN PLACE.

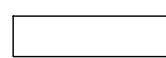
## MATERIAL SYMBOLS



EARTH



POROUS FILL (STONE OR GRAVEL, ETC.)



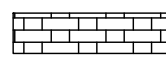
ROCK



LIGHTWEIGHT CONCRETE (OR CONCRETE FILL)



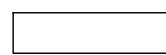
STRUCTURAL CONCRETE (CAST-IN-PLACE, PRE CAST, CAST STONE)



BRICK (COMMON OR FACE)



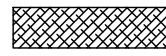
CONCRETE MASONRY UNITS (CMU)



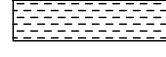
CUT STONE



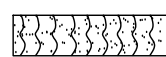
MARBLE



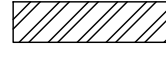
RUBBLE STONE



SLATE, BLUESTONE, SOAPSTONE, FLAGGING



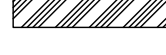
STRUCTURAL CLAY TILE



METAL (LARGE SCALE)



METAL (SMALL SCALE STRUCTURAL & SHEET)



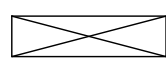
BEARING WALL



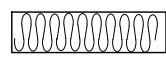
PLYWOOD (LARGE SCALE)



WOOD FINISH



WOOD ROUGH



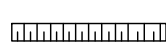
INSULATION (LOOSE OR BATT)



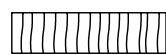
INSULATION (RIGID)



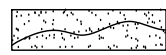
GLASS (LARGE SCALE)



ACOUSTICAL TILE



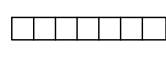
CERAMIC TILE



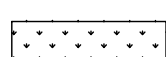
GYPSUM WALL BOARD (FIBERBOARD, ETC.)



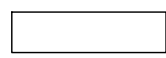
PLASTER, SAND, CEMENT, GROUT



RESILIENT FLOORING



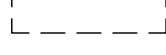
TERRAZZO



EXISTING WALLS



NEW WALLS



WALLS REMOVED

## ENERGY CONSERVATION CODE

### 2021 INTERNATIONAL ENERGY CONSERVATION CODE PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS TABLE R402.1.1

#### PROPOSED

DESCRIPTION	COMMENTS	PROPOSED R-VALUE
CEILING WITH ATTIC SPACE	USE C.H.P. AS REQ. 16.5" THICK	R- 60
CEILING WITHOUT ATTIC SPACE	USE C.H.P. AS REQ. 8.25" THICK	R- 30
WALL	2 1/2" WALL SYSTEM	R- 20 + 6.6CI
FLOOR OVER UNCONDITIONED SPACE	USE C.H.P. AS REQ. 8.25" THICK	R- 30
BASEMENT WALL		R- 15
SLAB FLOOR	2" RIGID INSULATION (XPS TYPE)	R- 10
GRAVEL SPACE WALL	2" RIGID ROCKWOOL	R- 15
SUPPLY DUCTS IN ATTIC		R- 5
RETURN DUCTS OUTSIDE BLDG ENVELOPE		R- 6
SUPPLY DUCTS OUTSIDE BLDG ENVELOPE		R- 6
R-15 CONTINUOUS OR R-14 CAVITY		R- 6

#### REQUIRED

MINIMUM R-VALUE
R- 60
R- 20 + 6.6CI MAX.
R- 20 + 5CI
R- 30
R- 15/14"
R- 10, 4 FT DEEP
R- 15/14"
R- 5
R- 6
R- 6

DESCRIPTION	COMMENTS	PROPOSED U-VALUE
CEILING WITH ATTIC SPACE	USE C.H.P. AS REQ. 16.5" THICK	U- .25
CEILING WITHOUT ATTIC SPACE	USE C.H.P. AS REQ. 8.25" THICK	U- .30
WALL	2 1/2" WALL SYSTEM	U- .12
FLOOR OVER UNCONDITIONED SPACE	USE C.H.P. AS REQ. 8.25" THICK	U- .12
BASEMENT WALL		U- .15
SLAB FLOOR	2" RIGID INSULATION (XPS TYPE)	U- .10
GRAVEL SPACE WALL	2" RIGID ROCKWOOL	U- .15
SUPPLY DUCTS IN ATTIC		U- .20
RETURN DUCTS OUTSIDE BLDG ENVELOPE		U- .16
SUPPLY DUCTS OUTSIDE BLDG ENVELOPE		U- .16
R-15 CONTINUOUS OR R-14 CAVITY		U- .16

MAXIMUM U-VALUE
U- .30
U- .35

STATEMENT OF COMPLIANCE: THE PROPOSED BUILDING DESIGN REPRESENTED IN THESE DOCUMENTS IS CONSISTENT WITH THE BUILDING PLANS, SPECIFICATIONS AND OTHER CALCULATIONS SUBMITTED WITH THE PERMIT APPLICATION. THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE 2006.

ARCHITECT CONTADINO ARCHITECTS AIA

DATE

## BUILDING CODE SUMMARY

PROJECT DESCRIPTION:  
ADDITION AND RENOVATION TO ONE FAMILY RESIDENCE

APPLICABLE CODES ADOPTED 2022 CONNECTICUT STATE BUILDING CODE:

2021 INTERNATIONAL BUILDING CODE (IBC)  
2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2021 INTERNATIONAL MECHANICAL CODE (IMC)  
2021 INTERNATIONAL PLUMBING CODE (IPC)  
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2021 INTERNATIONAL FIRE CODE (IFC)  
2020 NFPA NATIONAL ELECTRICAL CODE (NEC)  
2017 ANSI A117.1 ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

USE AND OCCUPANCY CLASSIFICATION:  
GROUP R-3 - RESIDENTIAL OCCUPANCIES

CONSTRUCTION TYPE:  
5B COMBUSTIBLE UNPROTECTED

### DESIGN LOAD TABLE

USE	LIVE LOAD PSF	DEAD LOAD PSF	TOTAL LOAD
DECK	40	37	77
FIRST FLOOR	40	10	50
SLEEPING ROOMS	30	10	40
STAIRS	40	10	50
ATTIC WITH NO STORAGE	10	10	20
ATTIC WITH STORAGE	25	10	35
ROOF	45	10	55

ROOF, FLOOR, AND ATTIC DESIGN DEAD AND LIVE LOADS IS IN COMPLIANCE WITH THE CONNECTICUT STATE RESIDENTIAL CODE DESIGN SOIL BEARING CAPACITY EQUALS 4,000 PSF. CONTRACTOR TO CONFIRM.

### CLIMATIC & GEOGRAPHIC DESIGN CRITERIA TABLE PER TABLE R 301.2(1)

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		
	SPEED (MPH)	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST DEPTH	TERMITE
30 PSF	120 ULTIMATE, 45 NOMINAL	NO	B	SEVERE	42"	MODERATE-HEAVY
WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMPERATURE	CLIMATE ZONE	
7°F	YES	YES	1,500 OR LESS	50°F	5A	

ALTERATIONS AND ADDITIONS TO THE:  
**BRUNO RESIDENCE**  
47 RIDGE STREET  
COS COB, CT 06807

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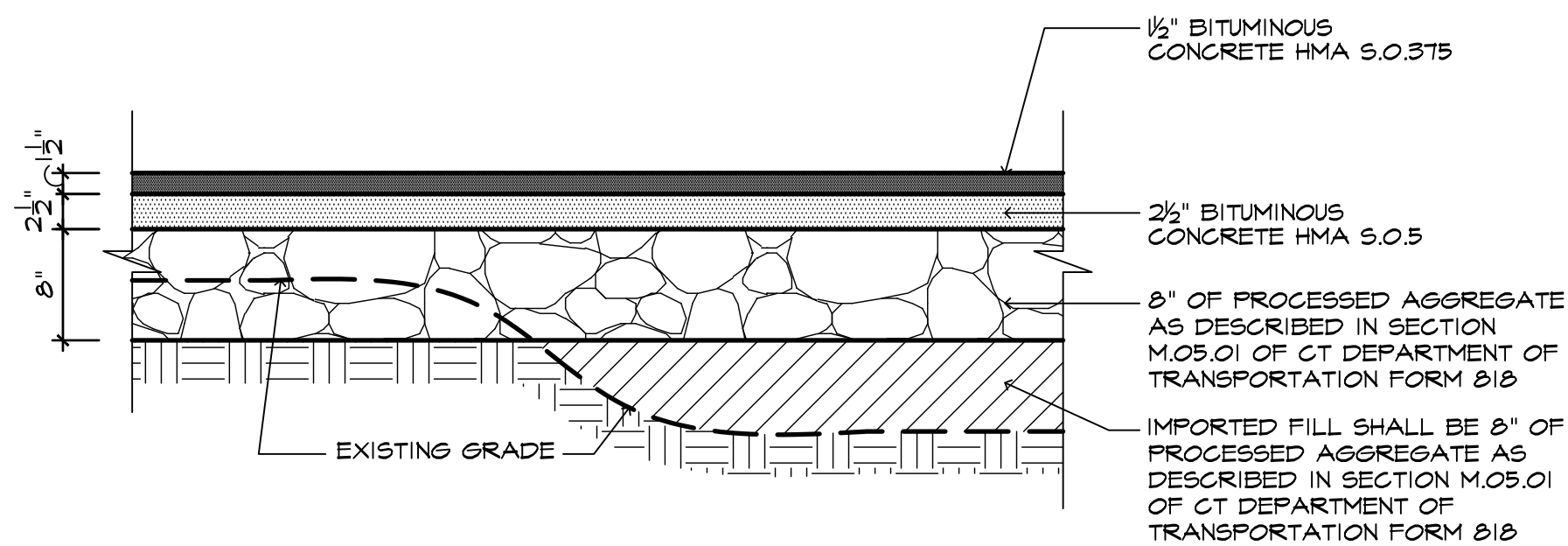
Contadino Architects AIA  
436 East Putnam




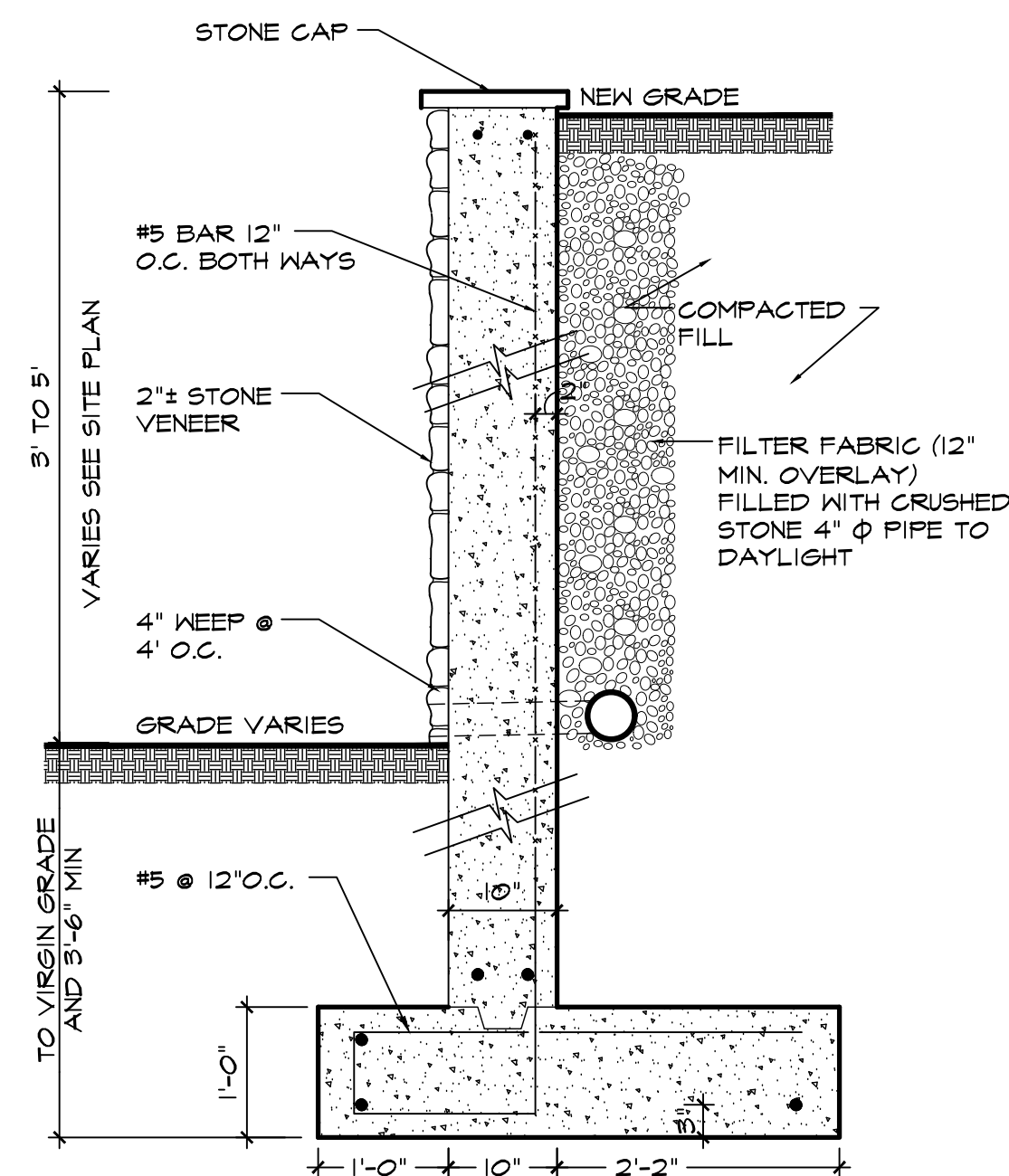




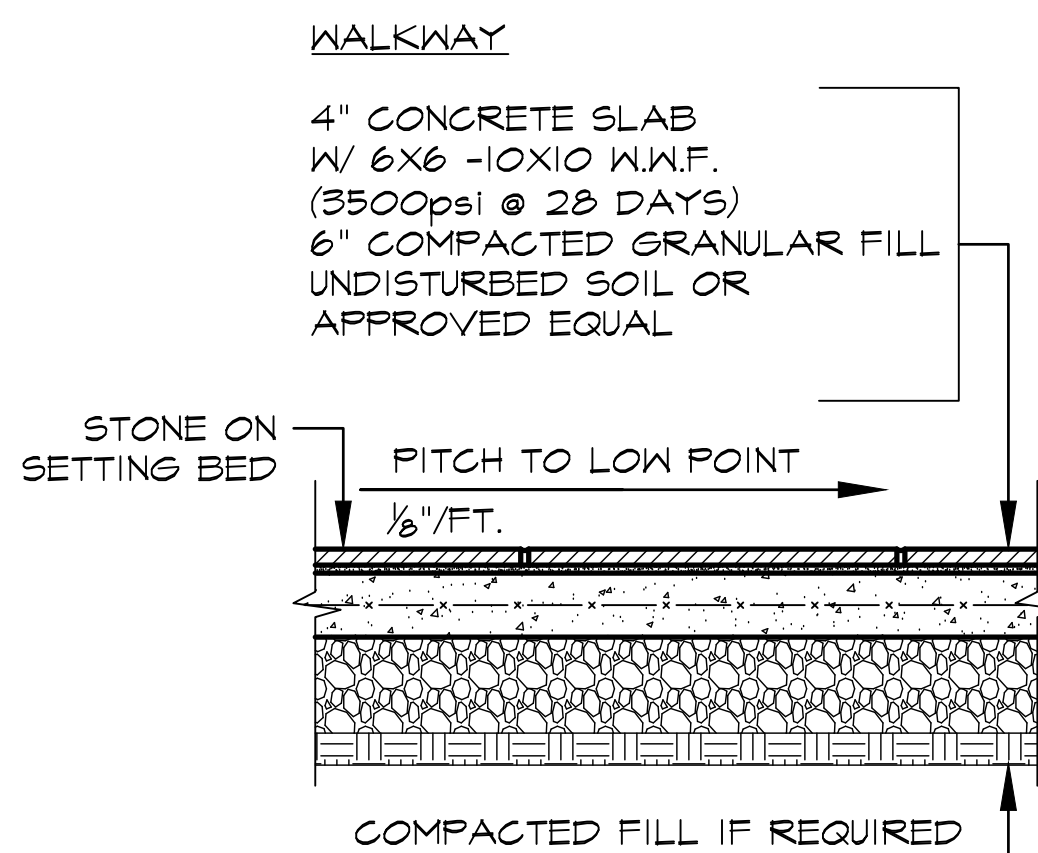
Legend			
	Subject	Quantity	Unit
▲	Site - 5'-0" wide Concrete steps w/ standard reinforcement	9	Count
▲	Site - 9'-0" wide Concrete steps w/ standard reinforcement	4	Count
／	Site - 10" thick concrete retaining wall w/ #5 bars @ 12" o.c.both ways - 7'-6"high, Stone cap, 2" thick stone veneer w/ 4" weep at 12" o.c - 5' high, Filter fabric - 5', 12" crushed stone - 5', 4" dia pipe, Footing - 4'-0"W x 1'-0"deep retaining wall footing w/ #5 bars at 12" o.c.	188.75	ft
■	Site - Asphalt driveway w/ 1-1/2" bituminous concrete HMA S.0.375, 2-1/2" bituminous concrete HMA S.0.5, 8" aggregate	2,151	sf
■	Site - Walkway slab - Stone on setting bed over 4" concrete slab w/ 6x6-10x10 WWF (3500 PSI), 6" compacted granular fill	123	sf




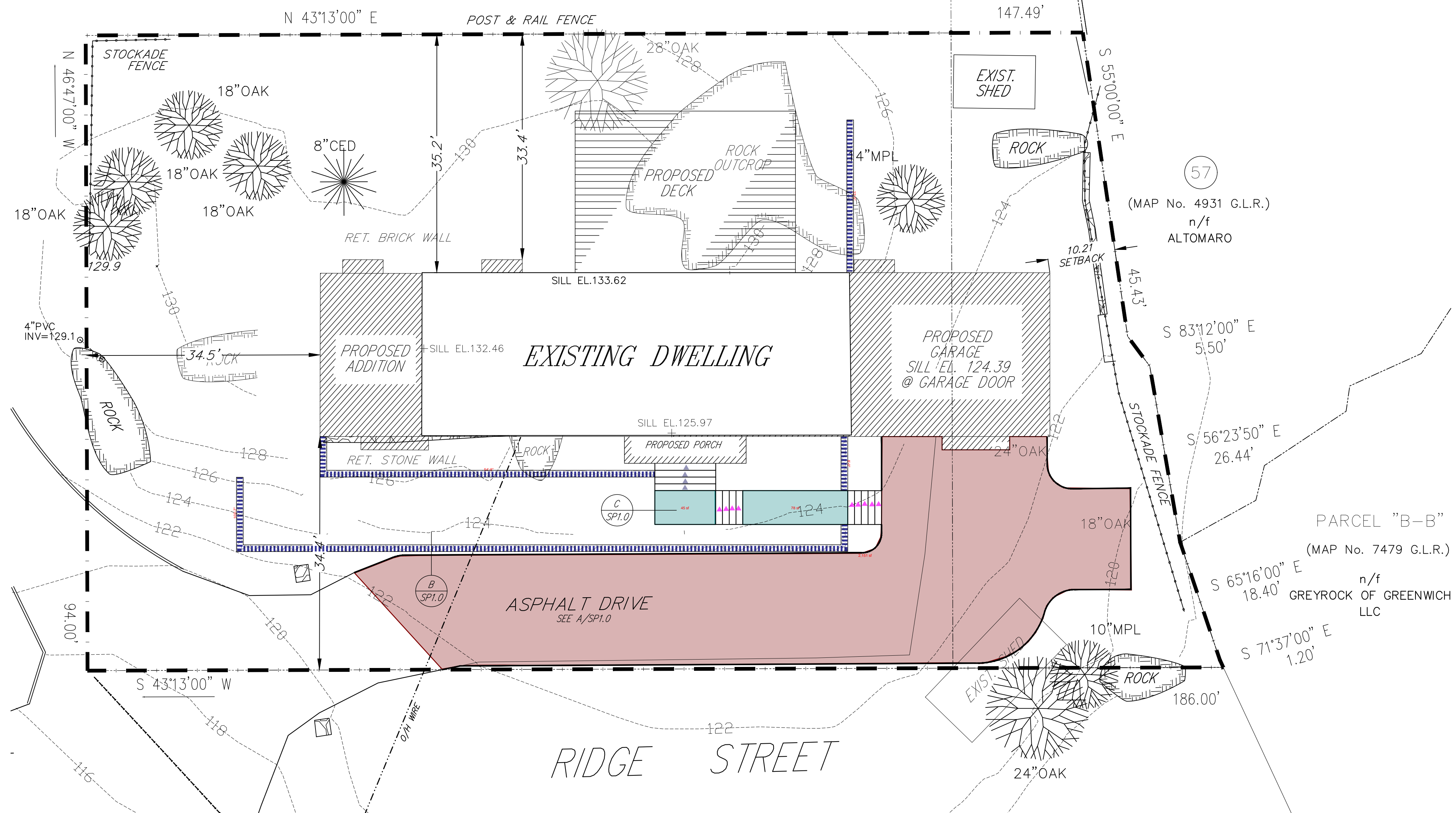

**ASPHALT DRIVE DETAIL**  
 SCALE: 1"=1'-0"



**B**  
**SPL.0** **RETAINING WALL**  
SCALE: 3/4" = 1' - 0"  
REFER TO CIVIL ENGINEERS DOCUMENTS  
FOR ADDITIONAL INFORMATION.



 WALKWAY SLAB DETAIL  
SCALE: 1" = 1'-0"



 SITE PLAN  
SCALE: 1" = 20'

NOTE:

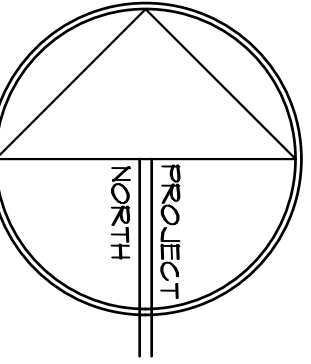
1. REFER TO SITE PLAN PREPARED BY CIVIL ENGINEER FOR ADDITIONAL SITE DATA
2. VERIFY ALL TREE REMOVAL WITH OWNERS.

SEQUENCE OF ACTIVITIES:

1. ALL SEDIMENTATION AND EROSION CONTROLS ARE TO BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION.
2. MACHINERY ACCESS WILL BE VIA THE EXISTING DRIVEWAY.
3. ALL FILL AND EXCAVATION WILL BE LIMITED TO THE PROPOSED ACTIVITIES.
4. OBTAIN MARK OUT FROM GALL BEFORE YOU DIG 1-800-922-4455 PRIOR TO NAY EARTHWORKS.
5. SEE CIVIL ENGINEERS DOCUMENTS FOR ADDITIONAL INFORMATION.

GENERAL CONSTRUCTION SEQUENCE:

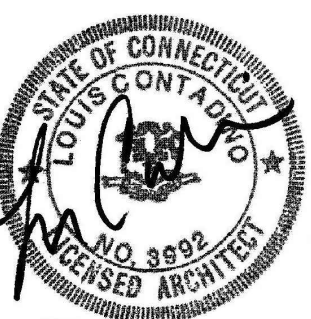
1. OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS
2. FLAG LIMITS OF CONSTRUCTION AREA
3. ON-SITE PRE CONSTRUCTION MEETING
4. PLACEMENT OF THE SEDIMENTATION AND EROSION CONTROLS
5. DELINEATION OF THE CONSTRUCTION ENVELOPES WITH HIGH-VISIBILITY PLASTIC ADAPTED TO THE TYPE OF SURFACE
6. CLEARING WITHIN THE AREA FOR THE PROPOSED ACTIVITY
7. DEMOLITION OF ANY EXISTING STRUCTURES
8. FOUNDATION EXCAVATIONS
9. BUILDING CONSTRUCTION
10. DRAINAGE CONTROL STRUCTURE INSTALLATIONS
11. CONNECT ALL NEW/EXISTING RAINWATER LEADERS INTO EXISTING HOUSEHOLD WATER STORAGE SYSTEM. CONTRACTOR TO VERIFY IN FIELD.
12. UTILITY INSTALLATIONS
13. FINAL GRADING, PAVING AND LANDSCAPING
14. SOME CONSTRUCTION PHASES WILL OCCUR SIMULTANEOUSLY



ALTERATIONS AND ADDITIONS TO THE:  
**BRUNO RESIDENCE**  
47 RIDGE STREET  
COS COB, CT 06807

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09-19-2023

REV.	DATE
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# SP1.0

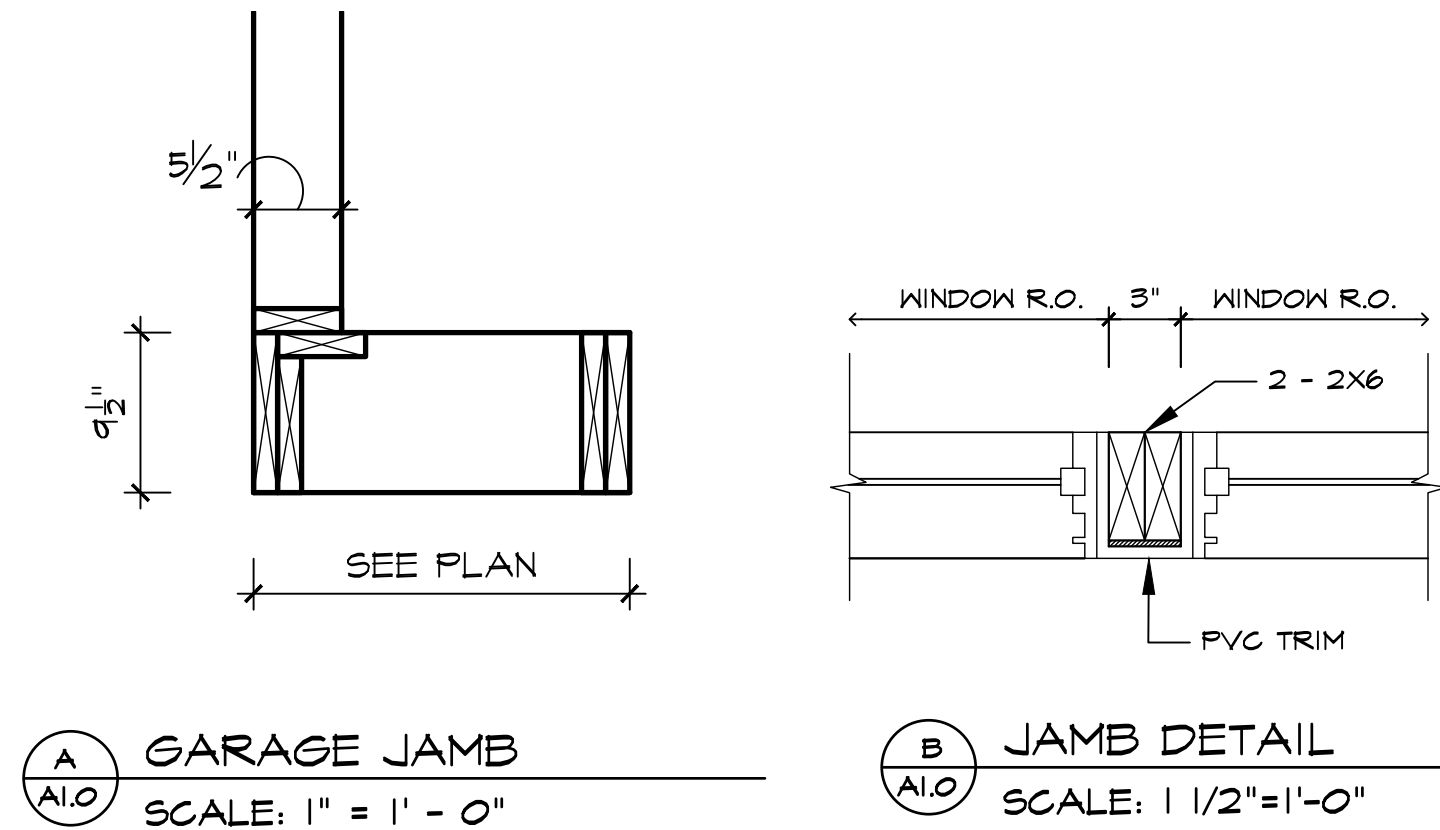
## SITE PLAN

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.



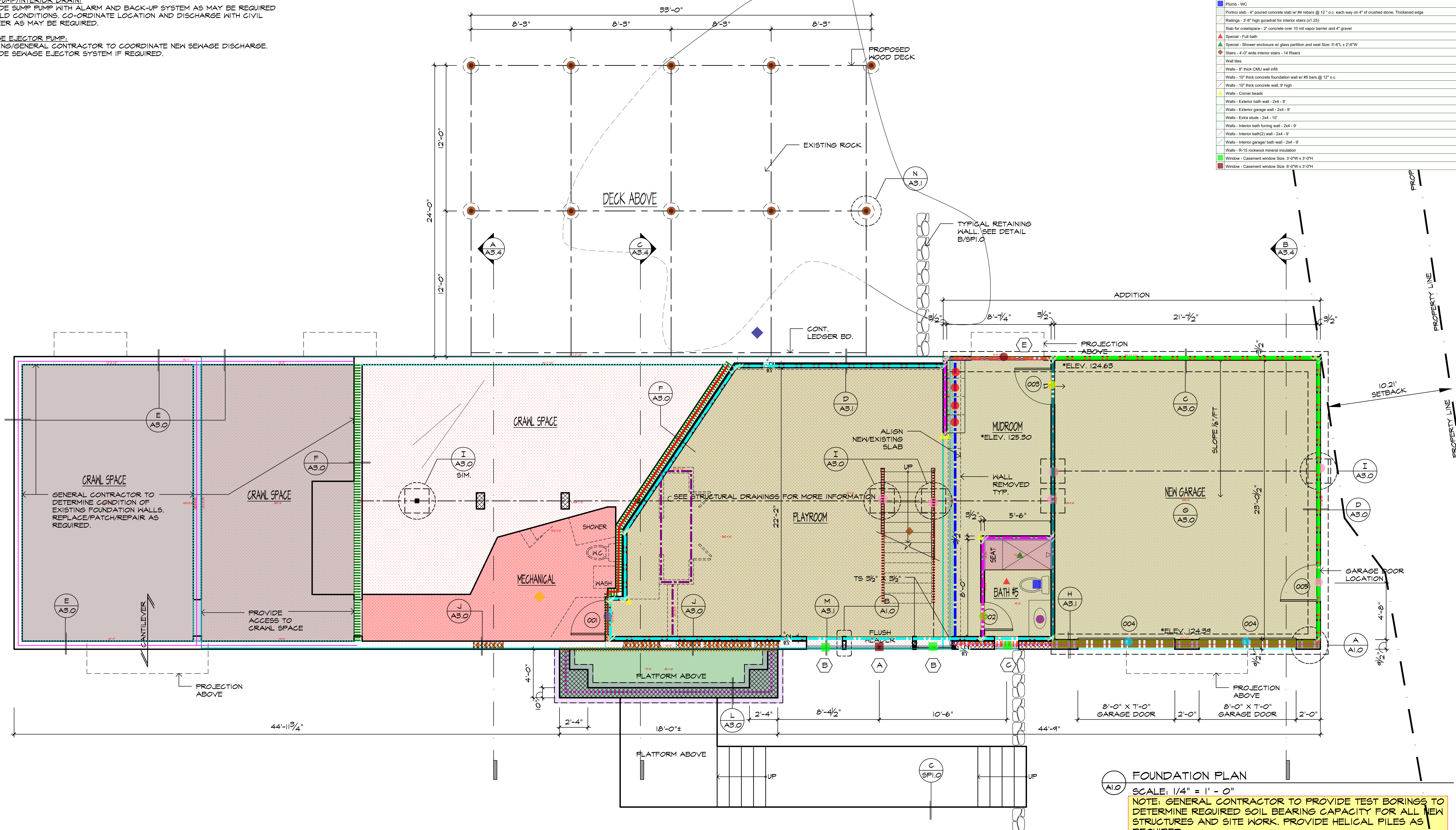
# FOUNDATION NOTES

- ALL PIPE PENETRATIONS:  
IN SLAB TO BE SEALED TO PREVENT WATER INFILTRATION.
- ALL EXPOSED CONCRETE FLOORS:  
TO BE SEALED WITH ACRYLIC POLYMER COATINGS OR APPROVED EQUAL.
- COORDINATE SLAB DEPRESSIONS AND PIPE PENETRATIONS:  
AS REQUIRED SEE FLOOR PLAN OF ARCHITECTURAL, AND CIVIL ENGINEERS  
DRAWINGS FOR ALL WATER SUPPLY, WASTE LINE, ETC.
- CEMENT PARGE EXPOSED CONCRETE:  
TWO-COATS CEMENT PARGE CONTINUOUS FROM SILL TO 12" BELOW FINISH GRADE  
(MIN.).
- WATERPROOFING:  
APPLY AS REQUIRED FROM TOP OF FOOTING TO 3" BELOW FINISHED GRADE.  
PROVIDE INSULATED/PROTECTION BOARD PER DRAWINGS.
- EXPOSED FOUNDATIONS WALL:  
ABOVE GRADE SHALL BE PAINTED WITH VAPOR PERMEABLE, WATER REPELLANT  
COATING, CLEAR MATTE FINISH.
- RADON MITIGATION PLANS AND DETAIL:  
PROVIDE RADON CONTROL SYSTEM UNDER CONCRETE SLAB. VENT TO ROOF WITH  
FAN AS REQUIRED PER CODE. VENT PIPE LOCATED IN HOUSE ENVELOPE.
- SUMP PUMP/INTERIOR DRAIN:  
PROVIDE SUMP PUMP WITH ALARM AND BACK-UP SYSTEM AS MAY BE REQUIRED  
BY FIELD CONDITIONS. CO-ORDINATE LOCATION AND DISCHARGE WITH CIVIL  
ENGINEER AS MAY BE REQUIRED.
- SEWAGE EJECTOR PUMP:  
PLUMBING/GENERAL CONTRACTOR TO COORDINATE NEW SEWAGE DISCHARGE.  
PROVIDE SEWAGE EJECTOR SYSTEM IF REQUIRED.



**A GARAGE JAMB**  
SCALE: 1" = 1' - 0"

**B JAMB DETAIL**  
SCALE: 1 1/2" = 1' - 0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1' - 0"

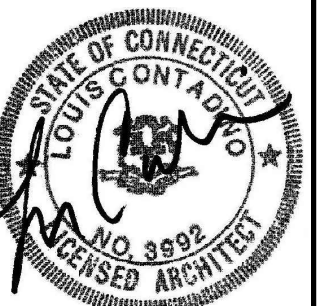
NOTE: GENERAL CONTRACTOR TO PROVIDE TEST BORINGS TO  
DETERMINE REQUIRED SOIL BEARING CAPACITY FOR ALL NEW  
STRUCTURES AND SITE WORK. PROVIDE HELICAL PILES AS  
REQUIRED.

Subject	Quantity	Unit
Ceiling Flooring - Concrete sealer	141.2	sf
Ceiling Flooring - LVP	1,203.5	sf
Ceiling Flooring - Tile flooring	13.6	sf
Demo - Existing exterior wall and finishes to be removed at its entirety	171.620	ft
Demo - Existing flooring and subflooring to be removed at its entirety, Insulation	1,094.6	sf
Demo - Existing interior wall (2x4) to be removed at its entirety, 10"	923.8	ft
Demo - Existing interior walls for first floor to be removed at its entirety	27.262	ft
Demo - Existing mechanical room accessories and all fixtures to be removed at its entirety	1	Count
Demo - Existing roofing including framing, ceiling framing to be removed at its entirety	1,486.1	sf
Demo - Existing wall to be removed, assuming concrete wall, 9'-0"	23.167	ft
Door - Exterior slider door w/ frame Size: 6'-0" x 6'-6"	1	Count
Doors - Exterior single door w/ frame Size: 3'-0" x 6'-6"	1	Count
Doors - Interior single door w/ frame Size: 2'-4" x 6'-6"	1	Count
Doors - Interior single door w/ frame Size: 2'-10" x 6'-6"	1	Count
Doors - Interior single door w/ frame Size: 3'-0" x 6'-6"	1	Count
Doors - Overhead garage door w/ frame Size: 8'-0" x 7'-0"	2	Count
Floor framing - 2x6 PT #1 plate	186.951	ft
Footing Pier footing w/ 8" dia sonotube, 3'-0" high, 6x6 PT post - 3'-0" high, Simpson anchors, Azek board (4 sides)	10	Count
Found - 1'-8"W x 0'-10"D concrete footing w/ 2x4 key, 2x6 bar w/ 3/4 gravel, Filter fabric, 10" concrete foundation wall damp proofing w/ drainage board, 1/2"x18" @ 4'-0" o.c. anchor bolts	49.429	ft
Found - 1'-8"W x 0'-8"D concrete (3000 PSI) footing w/ (2) #5 cont. + 10" thick concrete stem wall w/ (3) #5 bar cont. at top & #4 bar @ 48" o.c. 3'-3" high	54.493	ft
Found - 1'-8"W x 0'-8"D concrete (3000 PSI) footing w/ (2) #5 cont. + 10" thick concrete stem wall w/ (3) #5 bar cont. at top & #4 bar @ 48" o.c. 12'-3" high	22.053	ft
Found - 1'-8"W x 0'-10"D concrete footing w/ (2) #5 cont. & #5 dowel @ 12" o.c.	45.1	sf
Found - 2'-6" x 2'-6" x 1'-0" concrete footing w/ (7) #5 bar each way + 3'-1/2" x 10" x 3/4" base plate w/ (2) 3/4" anchor bolt	5	Count
Found - Copper flashing	18.000	ft
Garage slab - 4" concrete slab w/ 6x6-W20x20 WWF over 10 mil vapor barrier on 6" of compacted granular fill	249.5	sf
Milwork - Bath vanity - 1'-10" deep x 3'-0" wide	1	Count
Milwork - Tall cabinet for mudroom Size: 1'-6" x 1'-6"	4	Count
Plumb - WC	1	Count
Portico slab - 4" poured concrete slab w/ #4 rebar @ 12" o.c. each way on 4" of crushed stone, Thickened edge	72.0	sf
Railings - 3'-6" high guardrail for interior stairs (x1.25)	22.232	ft
Slab for crawlspace - 2" concrete over 10 mil vapor barrier and 4" gravel	608.6	sf
Special - Full bath	1	Count
Special - Shower enclosure w/ glass partition and seat Size: 5'-6" L x 2'-6" W	1	Count
Stairs - 4'-0" wide interior stairs - 14 Risers	1	Count
Wall tiles	10.487	ft
Walls - 8" thick CMU wall infill	21.527	ft
Walls - 10" thick concrete foundation wall w/ #5 bars @ 12" o.c.	24.021	ft
Walls - 10" thick concrete wall, 9' high	26.514	ft
Walls - Corner beads	4	Count
Walls - Exterior bath wall - 2x4 - 9'	8.720	ft
Walls - Exterior garage wall - 2x4 - 9'	45.256	ft
Walls - Extra studs - 2x4 - 10'	59	Count
Walls - Interior bath Lining wall - 2x4 - 9'	80.008	ft
Walls - Interior bath(2) wall - 2x4 - 9'	20.224	ft
Walls - Interior garage bath wall - 2x4 - 9'	23.218	ft
Walls - R-15 rockwool mineral insulation	155.065	ft
Window - Casement window Size: 3'-0"W x 3'-0"H	3	Count
Window - Casement window Size: 6'-0"W x 3'-0"H	1	Count

ALTERATIO  
BRUNO  
47 RIDGE S  
COS COB, C

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ISSUED FOR PERMIT 09-19-2023

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS  
PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT  
IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

09-19-2023  
REV. DATE

A1.0

PLANS



DEMOLITION NOTES:

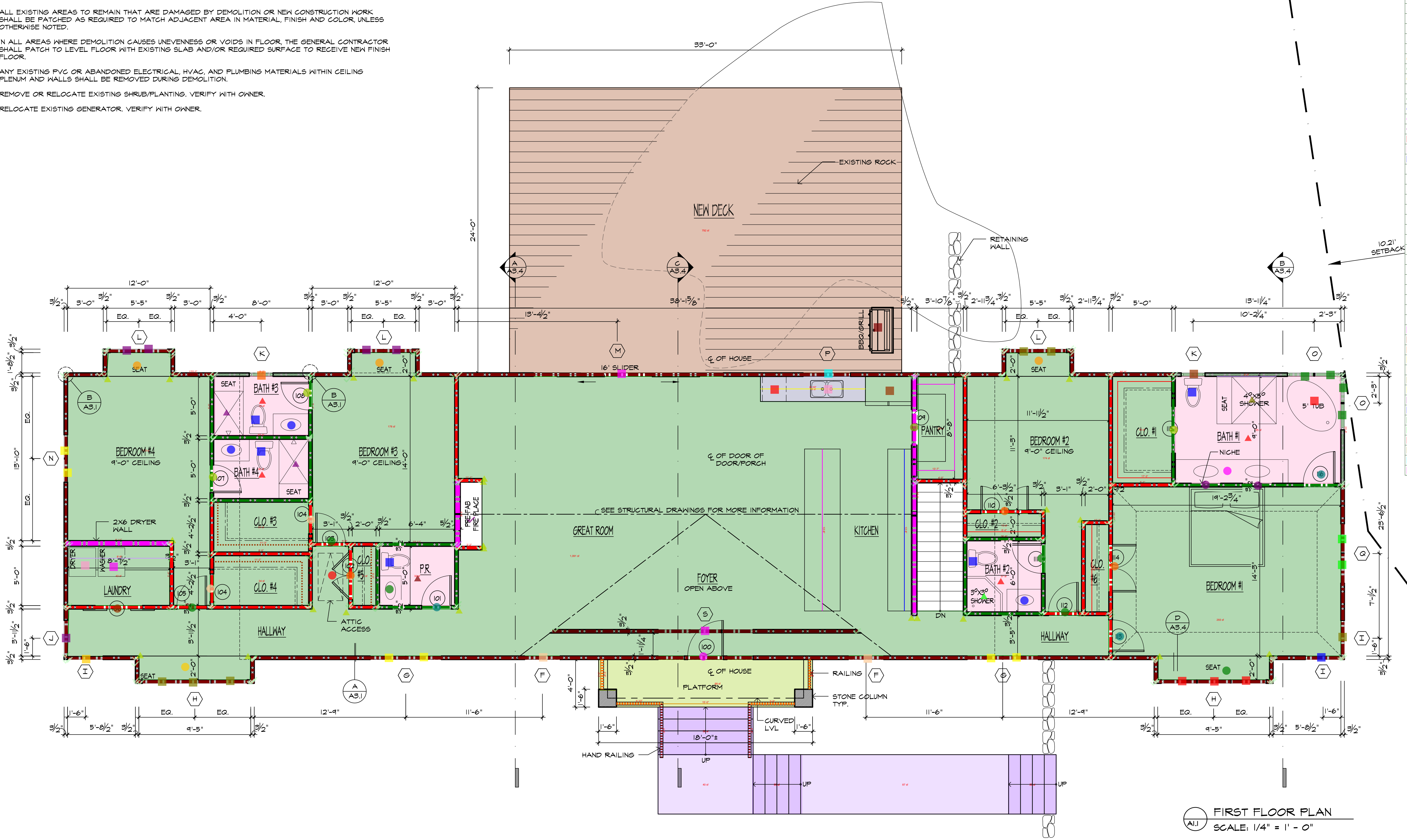
GENERAL CONTRACTOR SHALL ENSURE THAT THE FOLLOWING ARE PROVIDED PRIOR TO PROCEEDING WITH ANY DEMOLITION WORK. ALL WORK TO COMPLY WITH CHAPTER 93 (SAFEGUARDS DURING CONSTRUCTION) CONNECTICUT STATE BUILDING CODE.

- ENTRIES, AND EXITS TO REMAIN CLEAR FOR WORKERS ARE CLEARLY IDENTIFIED.
- EXISTING CONSTRUCTION HAS BEEN CHECKED BY GENERAL CONTRACTOR FOR POTENTIAL DEMOLITION HAZARDS.
- POSSIBLE HIDDEN UTILITIES HAVE BEEN CHECKED.
- BRACING AND SHORING IS COMPLETE.
- CONSTRUCTION NEAR STRUCTURAL ELEMENTS THAT WILL BE REMOVED IN PARTIAL DEMOLITION HAS BEEN ADEQUATELY BRACED.
- THAT NO DISLODGED MATERIALS WILL FALL OUTSIDE DEMOLITION AREA, OR CAUSE ANY ENDANGERMENT.
- PROTECTIVE BARRIERS ARE IN PLACE AND SECURE.
- ALL EXISTING AREAS TO REMAIN AND ADJACENT PROPERTY ARE PROTECTED.
- DEMOLITION STARTS AT TOPMOST AND PROCEEDS DOWNWARDS.
- PROVIDE FIRE EXTINGUISHERS PER CODE.
- ALL EXISTING AREAS TO REMAIN THAT ARE DAMAGED BY DEMOLITION OR NEW CONSTRUCTION WORK SHALL BE PATCHED AS REQUIRED TO MATCH ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE NOTED.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN FLOOR, THE GENERAL CONTRACTOR SHALL PATCH TO LEVEL FLOOR WITH EXISTING SLAB AND/OR REQUIRED SURFACE TO RECEIVE NEW FINISH FLOOR.
- ANY EXISTING P.V.C OR ABANDONED ELECTRICAL, HVAC, AND PLUMBING MATERIALS WITHIN CEILING PLENUM AND WALLS SHALL BE REMOVED DURING DEMOLITION.
- REMOVE OR RELOCATE EXISTING SHRUB/PLANTING. VERIFY WITH OWNER.
- RELOCATE EXISTING GENERATOR. VERIFY WITH OWNER.

LEGEND

	EXISTING WALLS
	EXISTING REMOVE
	EXISTING DOORS
	EXISTING WINDOW
	NEW WALLS/ FLOOR
	SMOKE/CARBON DETECTOR
	FAN
	NEW FOUNDATION

Subject	Quantity	Unit
Appliances - BBQ/ Grill	1	Count
Appliances - Dishwasher	1	Count
Appliances - Dryer	1	Count
Appliances - Refrigerator	1	Count
Appliances - Washer	1	Count
Ceiling/ Flooring - 2" Bluestone tread, 1" bluestone flied	20.01	ft
Ceiling/ Flooring - CT-1	273	sf
Ceiling/ Flooring - Decking	792	sf
Ceiling/ Flooring - Thin set stone flooring	68	sf
Ceiling/ Flooring - W-1	2,154	sf
Ceiling/ Flooring - Extra ceiling	19	sf
Doors - Attic access size: 2'-0" x 4'-0"	1	Count
Doors - Exterior door w/ sidelite Size: 8'-0"W x 9'-0"H	1	Count
Doors - Interior barn door Size: 4'-0" x 6'-8"	1	Count
Doors - Interior double door w/ frame Size: 4'-0" x 6'-8"	3	Count
Doors - Interior pocket door w/ frame Size: 2'-4" x 6'-8"	2	Count
Doors - Interior pocket door w/ frame Size: 2'-8" x 6'-8"	1	Count
Doors - Interior pocket door w/ frame Size: 4'-0" x 6'-8"	1	Count
Doors - Interior single door w/ frame Size: 2'-4" x 6'-8"	2	Count
Doors - Interior single door w/ frame Size: 2'-6" x 6'-8"	4	Count
Doors - Interior single door w/ frame Size: 2'-8" x 6'-8"	3	Count
Equipment - Pre-fabricated fire place Size: 5'-5" x 1'-10"	1	Count
Flooring - Acrylic polymer coating	271	sf
Milwork - 1'-0" wide closet shelving	27.38	ft
Milwork - 1'-6" wide shelving for pantry	13.59	ft
Milwork - 2'-0" wide countertop for laundry	8.50	ft
Milwork - 2'-0" wide countertop, Base cabinet	8.84	ft
Milwork - 2'-0" wide countertop, Base cabinet, 1'-0" wide upper cabinet	13.63	ft
Milwork - 3'-0" wide countertop, Base cabinet	13.63	ft
Milwork - Seat Size: 5'-5"W x 2'-0"	3	Count
Milwork - Seat Size: 8'-5"W x 2'-0"	1	Count
Milwork - Seat Size: 9'-5"W x 2'-0"	1	Count
Milwork - 1'-0" closet shelving	30.89	ft
Milwork - Bath Vanity Size: 2'-6"W x 1'-0"	1	Count
Milwork - Bath Vanity Size: 3'-0"W x 2'-0"	3	Count
Milwork - Bath Vanity w/ 2 basins Size: 9'-6"W x 2'-0"	1	Count
Milwork - Niche Size: 2'-6" x 0'-3"	2	Count
Plumb - 5' Bath tub	1	Count
Plumb - Sink	1	Count
Plumb - WC	5	Count
Railing - 3'-6" high guardrail at exterior (x1.25)	9.05	ft
Railing - 3'-6" high guardrail at exterior	12.60	ft
Special - Full bath	4	Count
Special - Half bath	1	Count
Special - Shower enclosure w/ glass partition and seat Size: 5'-0"L x 2'-6"W	2	Count
Special - Shower enclosure w/ glass partition and seat Size: 5'-0"L x 4'-0"W	1	Count
Special - Shower enclosure w/ glass partition Size: 3'-0"L x 3'-0"W	1	Count
Wall tiles	5.00	ft
Walls - Corner beads	23	Count
Walls - Exterior bath wall - 2x4 - 9'	31.58	ft
Walls - Exterior wall - 2x4 - 9'	276.63	ft
Walls - Extra studs - 2x4 - 10'	199	Count
Walls - Extra studs - 2x6 - 10'	8	Count
Walls - Interior bath wall - 2x4 - 9'	110.98	ft
Walls - Interior wall - 2x4 - 9'	149.81	ft
Walls - Interior wall - 2x6 - 9'	34.82	ft
Window - Casement window Size: 7'-1"W x 2'-5"H	1	Count
Windows - Casement Size: 2'-0" x 2'-0"	1	Count
Windows - Casement window Size: 2'-1" x 2'-1"	1	Count
Windows - Double hung window Size: 2'-0" x 4'-6"	1	Count
Windows - Double hung window Size: 2'-6" x 4'-6"	2	Count
Windows - Double hung window Size: 2'-8" x 4'-6"	3	Count
Windows - Double hung window Size: 2'-10" x 4'-6"	6	Count
Windows - Double hung window Size: 3'-0" x 4'-6"	5	Count
Windows - Double Hung Size: 2'-0" x 4'-6"	1	Count
Windows - Double Hung Size: 2'-3" x 4'-6"	4	Count
Windows - Double Hung Size: 2'-6" x 4'-6"	2	Count
Windows - Double Hung Size: 2'-8" x 4'-6"	3	Count
Windows - Double Hung Size: 3'-0" x 4'-6"	3	Count
Windows - Slider window Size: 3'-0" x 4'-6"	1	Count
Windows - Slider window Size: 16'-0" x 6'-11"	1	Count

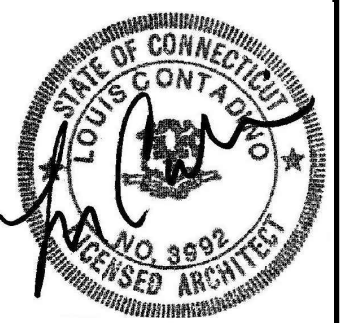


FIRST FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

ISSUED FOR

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436 East Putnam  
Phone (203)861



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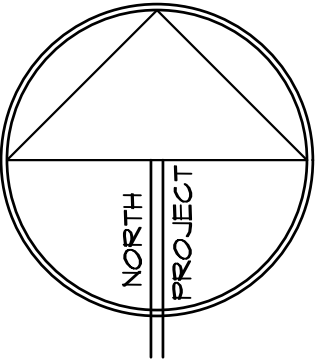
A1.1

PLANS



Legend			
Subject	Quantity	Unit	
Exterior - Fascia	246.73	ft	
Exterior - Rake	162.14	ft	
Roof - Downspout - 10'-2"	1	Count	
Roof - Downspout - 10'-8"	4	Count	
Roof - Downspout - 10'-11"	2	Count	
Roof - Downspout - 11'-2"	1	Count	
Roof - Downspout - 12'-10"	1	Count	
Roof - Downspout - 16'-9"	1	Count	
Roof - Downspout - 17'-4"	2	Count	
Roof - Downspout - 17'-6"	1	Count	
Roof - GAF Timberline HDZ high definition roof shingles	3,709	sf	
Roof - Gutter end cap	8	Count	
Roof - Hip flashing (x1.25)	12.66	ft	
Roof - Hip flashing (x1.302)	33.95	ft	
Roof - Inside corner piece	6	Count	
Roof - Outside corner	10	Count	
Roof - Ridge cap + COR-A-VENT ridge vent + Zincshield or copper flashing exposed 4"	118.95	ft	
Roof - Roof to wall flashing	112.58	ft	
Roof - Shingles to metal roof flashing	10.10	ft	
Roof - Standing seam metal roof, 16" wide (24 GA.) panels + High temperature peel & stick waterproof membrane	189	sf	
Roof - Step flashing (x1.25)	13.79	ft	
Roof - Valley flashing (x1.25)	124.89	ft	
Roof - Valley flashing (x1.302)	33.94	ft	

- ROOF GENERAL NOTES:
- ALL MATERIALS ARE NEW, INSTALLED PER MANUFACTURERS LATEST RECOMMENDATIONS.
  - STANDING SEAM METAL ROOF PANELS 16" INCH WIDE, 24 GAUGE. FINISH AND COLOR TO BE DETERMINED. APPLY OVER HIGH TEMPERATURE PEEL AND STICK WATERPROOF MEMBRANE. PROVIDE SAMPLES OF SNOW GUARDS, PROVIDE A MOCKUP FOR OWNERS REVIEW AND APPROVAL.
  - ALL WOOD BLOCKING AND NAILERS TO BE PRESSURE TREATED AND TO BE SECURED TO STRUCTURE.
  - AT ROOF OVER-FRAME AREAS, PROVIDE MINIMUM 2'X3' FRAMED OPENINGS BETWEEN ATTIC AREAS FOR REQUIRED ACCESS.
  - PROVIDE CRICKETS AT ANY ROOF PENETRATIONS AS REQUIRED.
  - ALL METAL FLASHING TO BE ALUMINUM OR APPROVED EQUAL. VERIFY ALL METALS USED TO PREVENT GALVANIC CORROSION.
  - CONTRACTOR TO MAKE ROOF WATERTIGHT AT THE END OF EACH WORKDAY, INCLUDING ROOF PENETRATIONS AS MAY BE REQUIRED.
  - INSTALL ELECTRICAL HEAT CABLE SYSTEM OVER ROOFING AS MAY BE REQUIRED. PROVIDE AN ILLUMINATED LIGHT SWITCH. VERIFY EXACT LOCATION WITH OWNERS.
  - REFER TO DIVISION 7 OF SPECIFICATIONS FOR ADDITIONAL INFORMATION.



ALTERATIONS AND ADDITIONS TO THE:  
**BRUNO RESIDENCE**  
47 RIDGE STREET  
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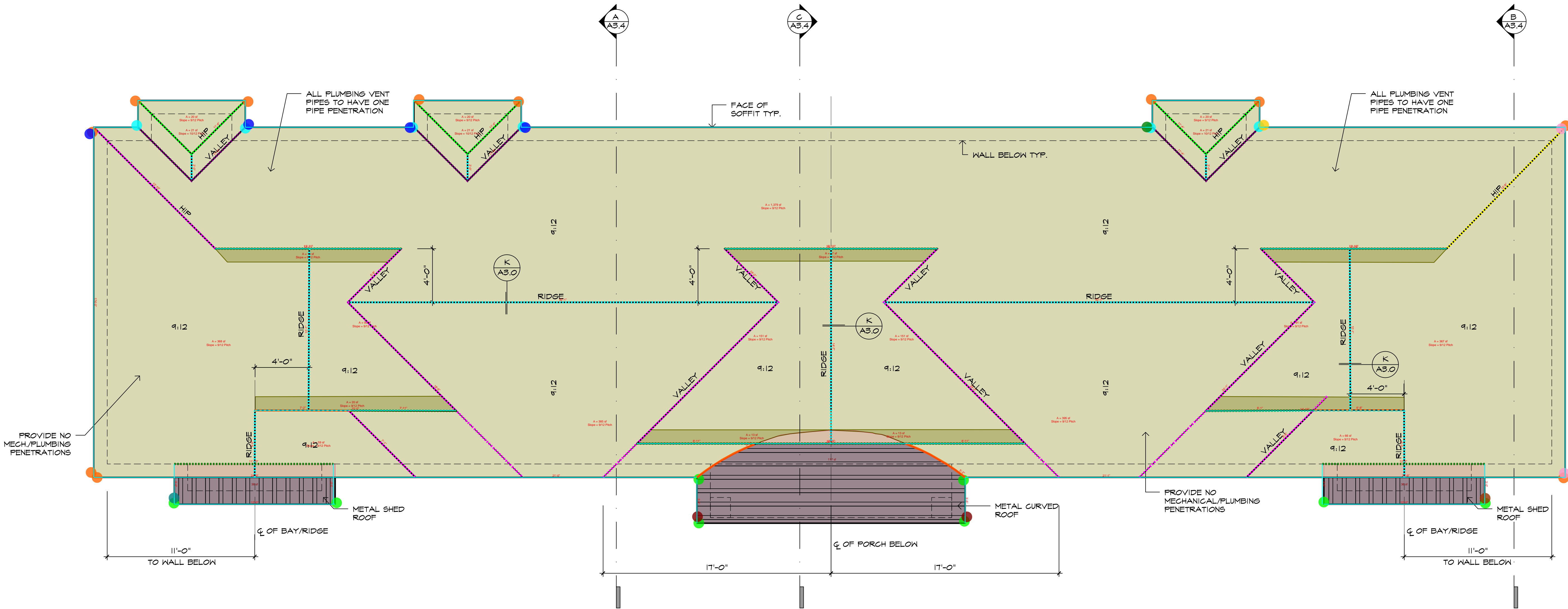


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09-19-2023

**A1.2**

PLANS

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**ROOF PLAN**  
SCALE: 1/4" = 1' - 0"



Legend			
Subject	Quantity	Unit	
Exterior - 1"x6" flatstock + 4" crown	19.61	ft	
Exterior - 2"x3" MDO panel w/ 5/4"x6" border	2	Count	
Exterior - 2x8 blocking + (2) 5" crown + 9" wide freeze board	127.77	ft	
Exterior - 3/4"x10" trim board	27.15	ft	
Exterior - 3/4"x10" trim board	59.52	ft	
Exterior - 4" Azek crown + 4" wide trim	31.79	ft	
Exterior - 4" Azek crown + 8" wide trim	86.24	ft	
Exterior - 4" wide casing	99.75	ft	
Exterior - 4" wide trim for doors	69.19	ft	
Exterior - 4" wide window sill board w/ 1" nosing	32.06	ft	
Exterior - 6" PVC crown + 5/4"x6" PVC board	104.28	ft	
Exterior - 6" wide trim board	5.33	ft	
Exterior - 7" wide trim	20.01	ft	
Exterior - 10"x3" MDO panel w/ 5/4"x6" border & 1" nosing	2	Count	
Exterior - 10" wide trim board + 5" wide trim board	7.56	ft	
Exterior - Asphalt roof (x1.08) + 2x8 blocking + 4" crown + 8" fascia	18.10	ft	
Exterior - Pre-painted cement siding	1,120	sf	
Exterior - Thinset stone veneer	359	sf	
Roof - Standing seam metal roof, 16" wide (24 GA.) panels + High temperature peel & stick waterproof membrane (x1.58x1.414)	9.42	ft	
Roof - Standing seam metal roof, 16" wide (24 GA.) panels + High temperature peel & stick waterproof membrane (x5.92')	20.66	ft	
Walls - Exterior gable wall - 2x4	532	sf	

1. ROOF FLASHING:  
ALL REQUIRED FLASHING SHALL BE ALUMINUM U.O.N. FLASHING @ ROOF PENETRATIONS, BOOT, AND VENT PIPE COLOR TO MATCH ROOF SHINGLES, ROOF BREAK FLASHING TO MATCH ROOF SHINGLES. U.O.N. PROVIDE COPPER AT CHIMNEY FLASHING. PROVIDE KICK-OUT FLASHING BETWEEN ROOF EAVE AND SIDE WALL.

2. EPDM ROOFING (IF REQUIRED):  
PROVIDE 60 MIL BLACK EPDM ROOFING PER MANUFACTURER SPECIFICATIONS. PROVIDE UNDERLAYMENT AND PROTECTION BD. AS REQUIRED.

3. MECHANICAL PENETRATIONS:  
ALL SIDE WALL AND ROOF MECHANICAL PENETRATION VENTS TO MATCH ADJACENT MATERIAL COLOR. VERIFY COLORS WITH ARCHITECT PRIOR TO INSTALLATION. PROVIDE NO MECHANICAL/PLUMBING PENETRATION ON FRONT (EAST) ELEVATION AND NORTH ELEVATION.

FLASHING:  
PROVIDE FLASHING @ ALL WINDOWS/DOORS, HEAD CASING AND HORIZONTAL SIDING TRANSITIONS. AT ALL EAVES, RAKES ROOF/WALL JUNCTIONS AND EXTERIOR PENETRATIONS.

UNDERLAYMENT:  
30# ROOF FELT OR APPROVED EQUAL, ICE AND WATER SHIELD AT ROOF SLOPES < 4:12/VALLEY/ ROOF PENETRATIONS/EAVES (TO MIN. 36" INSIDE PERIMETER WALLS) INTERSECTIONS OF WALLS AND ROOFS/HIPS/BETWEEN DISSIMILAR MATERIALS AND PER MANUFACTURER RECOMMENDATIONS.

ROOF SOFFIT:  
PROVIDE NEW SOFFITS PER DRAWINGS.

RIDGE VENT:  
NOT APPLICABLE. USE SPRAYFOAM INSULATION @ ALL RAFTERS.

WINDOWS AND DOOR OPENINGS:  
REMOVE ALL EXISTING WINDOWS & FRONT DOOR. PROVIDE NEW UNITS. SEAL SHIM OPENINGS WITH NON-EXPANDING SPRAY FOAM SEALANT. PROVIDE FLASHING TAPE OVER FLASHING, DRIP EDGES AND WALL FLANGES. AT SILLS PROVIDE PAN FLASHING OR FLASHING TAPE PER INDUSTRY STANDARDS.

RAILING SYSTEM:  
55 CABLE RAILING SYSTEM PER CODE

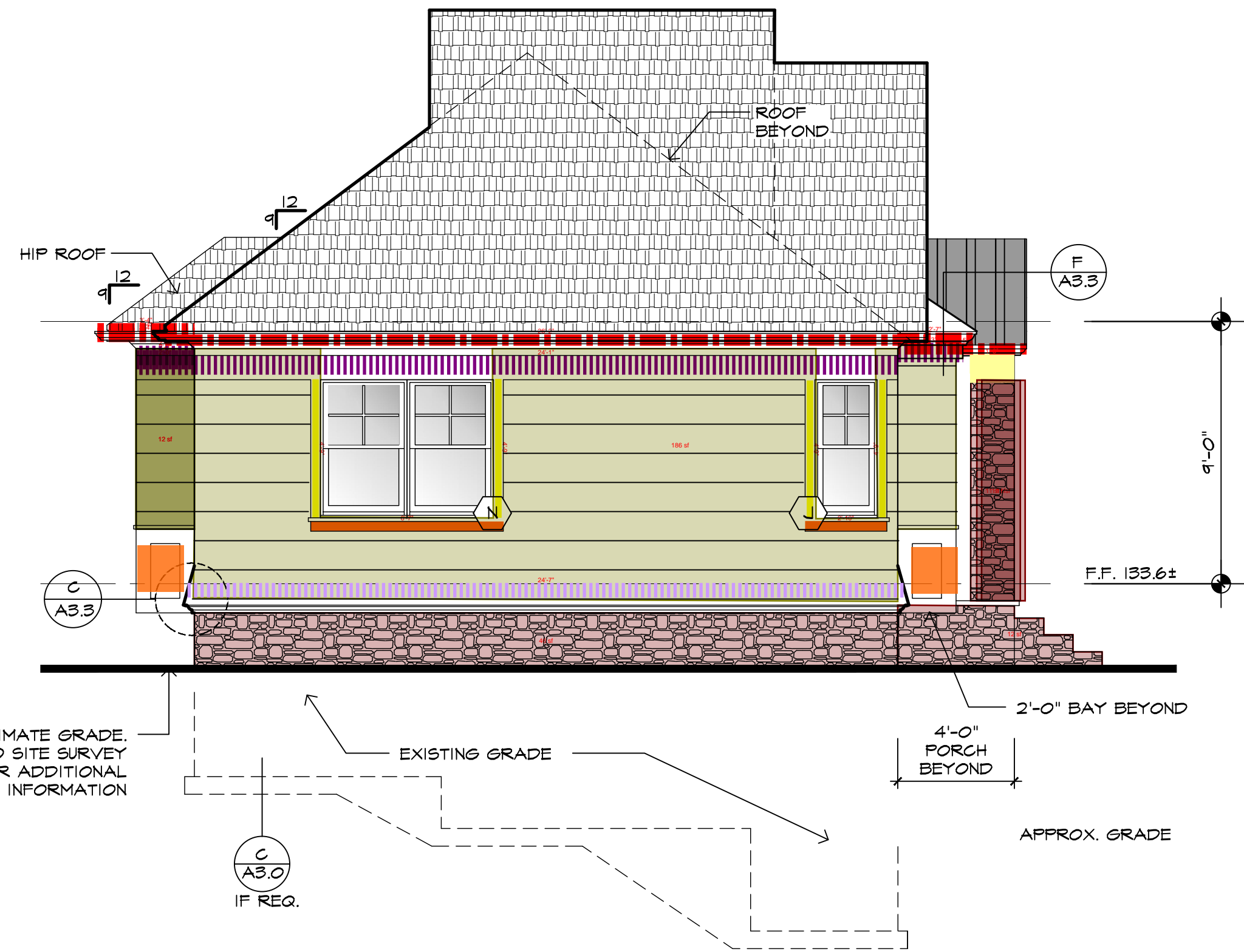
SEAL PENETRATIONS:  
SEAL ALL PENETRATIONS INTO INSULATED AND ACOUSTICAL RATED WALLS (TOP & BOTTOM FLATES, RIM JOIST EXT. WALL SHEATHING FLOORS AND CEILINGS WITH PROPER SEALANT. SEAL DUCTWORK, WIRING PLUMBING LINES, HVAC, SWITCHES, OUTLETS UTILITY BOXES FIXTURES ETC.

POLYSTONE COLUMNS:  
18" SQUARE THIN-SET STONE COLUMN WITH 2" BLUESTONE COP ROCK-FACE FINISH.

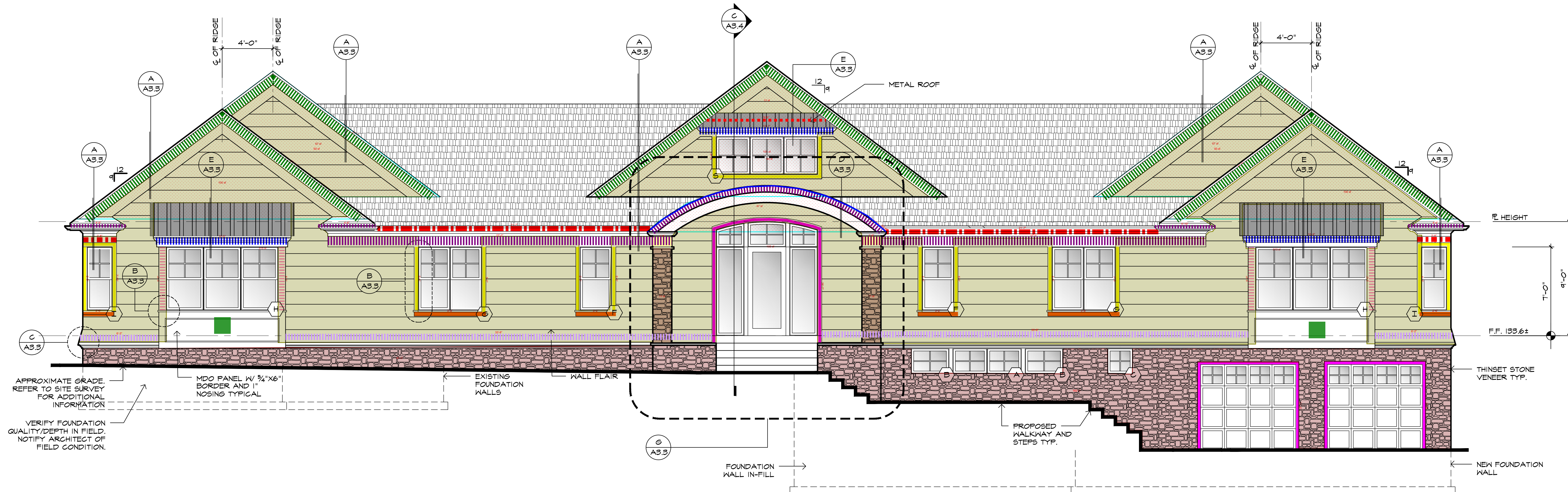
STONE VENEER:  
THIN-SET VENEER ONLY INSTALLED PER MANUFACTURER SPECIFICATIONS OR APPROVED EQUAL. METAL FLASHING ALONG SHELF AND FLOOR FRAMING.

PATIOS/WALKWAYS:  
PROVIDE STONE OVER 4" REINFORCED CONCRETE SLAB SYSTEM.

MOUNTING BLOCKS:  
ALL ELECTRICAL, PLUMBING AND HVAC EXTERIOR BLOCKS PAINTED TO MATCH STUCCO COLOR UNLESS OTHERWISE NOTED.



WEST ELEVATION  
SCALE: 1/4" = 1' - 0"



SOUTH ELEVATION  
SCALE: 1/4" = 1' - 0"

ALTERATIONS AND ADDITIONS TO THE:  
**BRUNO RESIDENCE**  
47 RIDGE STREET  
COS COB, CT 06807

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09-19-2023

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A2.0

ELEVATIONS

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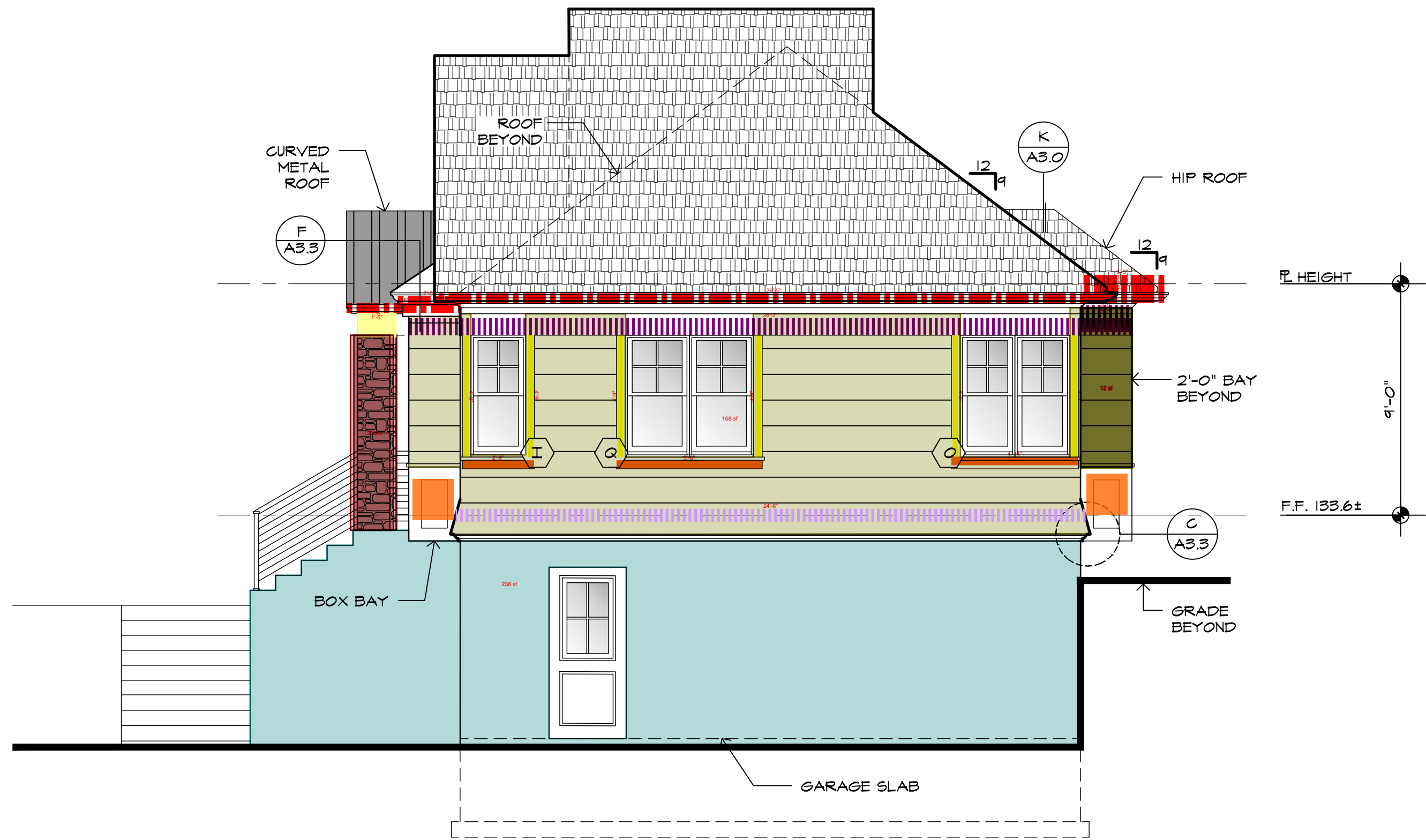
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS  
PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT  
IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.



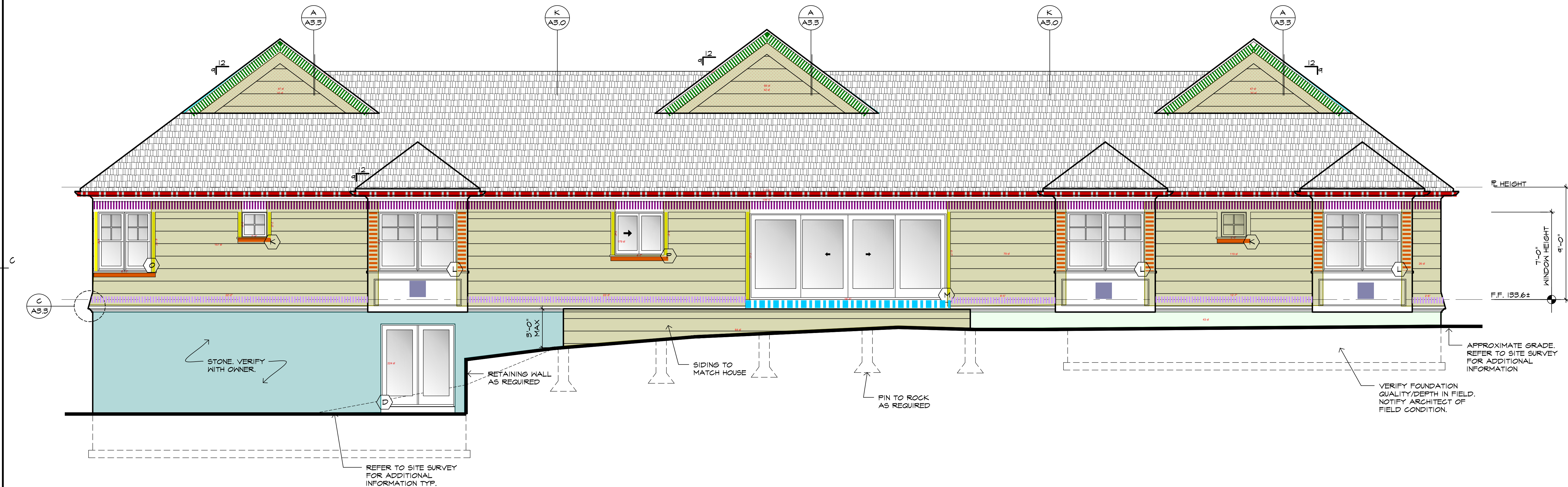
Legend			
Subject	Quantity	Unit	
Exterior - 2'x3' MDO panel w/ 5/4"x6" border	2	Count	
Exterior - 2x8 blocking + (2) 5" crown + 9" wide freeze board	55.69	ft	
Exterior - 3/4"x10" trim board	144.09	ft	
Exterior - 4" Azek crown + 8" wide trim	160.05	ft	
Exterior - 4" wide casing	62.57	ft	
Exterior - 4" wide window sill board w/ 1" nosing	28.20	ft	
Exterior - 6" PVC crown + 5/4"x6" PVC board	92.40	ft	
Exterior - 8'x3' MDO panel w/ 5/4"x6" border & 1" nosing	3	Count	
Exterior - 10" wide trim board + 5" wide trim board	4.58	ft	
Exterior - 10" wide window sill board w/ 1" nosing	16.42	ft	
Exterior - 10" wide window trim	28.39	ft	
Exterior - Pre-painted cement siding	949	sf	
Exterior - Thinset stone veneer	35	sf	
Exterior - Thinset stone veneer, verify w/ owner	461	sf	
Exterior - Two coat cement parge	43	sf	
Walls - Exterior gable wall - 2x4	154	sf	

10. FLASHING:  
PROVIDE FLASHING @ ALL WINDOWS/DOORS, HEAD CASING AND HORIZONTAL SIDING TRANSITIONS. AT ALL EAVES, RAKES ROOF/WALL JUNCTIONS AND EXTERIOR PENETRATIONS.
11. UNDERLAYMENT:  
30# ROOF FELT OR APPROVED EQUAL, ICE AND WATER SHIELD AT ROOF SLOPES < 4:12/VALLEY/ ROOF PENETRATIONS/EAVES (TO MIN. 36" INSIDE PERIMETER WALLS) INTERSECTIONS OF WALLS AND ROOFS/HIPS/BETWEEN DISSIMILAR MATERIALS AND PER MANUFACTURER RECOMMENDATIONS.
12. ROOF SOFFIT:  
PROVIDE NEW SOFFITS PER DRAWINGS.
13. RIDGE VENT:  
NOT APPLICABLE. USE SPRAYFOAM INSULATION @ ALL RAFTERS.
14. WINDOWS AND DOOR OPENINGS:  
REMOVE ALL EXISTING WINDOWS & FRONT DOOR. PROVIDE NEW UNITS. SEAL SHIM OPENINGS WITH NON-EXPANDING SPRAY FOAM SEALANT. PROVIDE FLASHING TAPE OVER FLASHING, DRIP EDGES AND WALL FLANGES. AT SILLS PROVIDE PAN FLASHING OR FLASHING TAPE PER INDUSTRY STANDARDS.
15. RAILING SYSTEM:  
55 CABLE RAILING SYSTEM PER CODE
16. SEAL PENETRATIONS:  
SEAL ALL PENETRATIONS INTO INSULATED AND ACOUSTICAL RATED WALLS, TOP & BOTTOM FLATES, RIM JOIST EXT. WALL SHEATHING FLOORS AND CEILINGS WITH PROPER SEALANT. SEAL DUCTWORK, WIRING PLUMBING LINES, HVAC, SWITCHES, OUTLETS UTILITY BOXES FIXTURES ETC.
17. POLYSTONE COLUMNS:  
18" SQUARE THIN-SET STONE COLUMN WITH 2" BLUESTONE COP ROCK-FACE FINISH.
18. STONE VENEER:  
THIN-SET VENEER ONLY INSTALLED PER MANUFACTURER SPECIFICATIONS OR APPROVED EQUAL. METAL FLASHING ALONG SHELF AND FLOOR FRAMING.
19. PATIOS/WALKWAYS:  
PROVIDE STONE OVER 4" REINFORCED CONCRETE SLAB SYSTEM.
20. MOUNTING BLOCKS:  
ALL ELECTRICAL, PLUMBING AND HVAC EXTERIOR BLOCKS PAINTED TO MATCH STUCCO COLOR UNLESS OTHERWISE NOTED.

- 7.1. ROOF FLASHING:  
ALL REQUIRED FLASHING SHALL BE ALUMINUM U.O.N. FLASHING @ ROOF PENETRATIONS, BOOT, AND VENT PIPE COLOR TO MATCH ROOF SHINGLES, ROOF BREAK FLASHING TO MATCH ROOF SHINGLES. U.O.N. PROVIDE COPPER AT CHIMNEY FLASHING. PROVIDE KICK-OUT FLASHING BETWEEN ROOF EAVE AND SIDE WALL.
8. EPDM ROOFING (IF REQUIRED):  
PROVIDE 60 MIL BLACK EPDM ROOFING PER MANUFACTURER SPECIFICATIONS. PROVIDE UNDERLAYMENT AND PROTECTION BD. AS REQUIRED.
9. MECHANICAL PENETRATIONS:  
ALL SIDE WALL AND ROOF MECHANICAL PENETRATION VENTS TO MATCH ADJACENT MATERIAL COLOR. VERIFY COLORS WITH ARCHITECT PRIOR TO INSTALLATION. PROVIDE NO MECHANICAL/PLUMBING PENETRATION ON FRONT (EAST) ELEVATION AND NORTH ELEVATION.



A2.0 EAST ELEVATION  
SCALE: 1/4" = 1' - 0"



A2.0 NORTH ELEVATION  
SCALE: 1/4" = 1' - 0"

ALTERATIONS AND ADDITIONS TO THE:  
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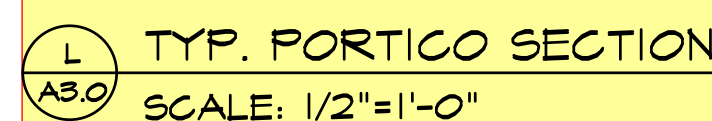
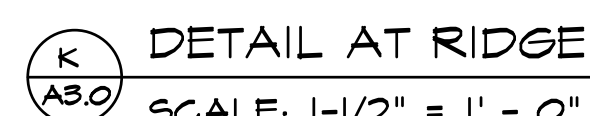
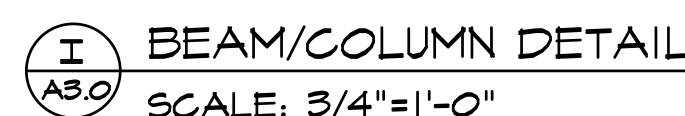
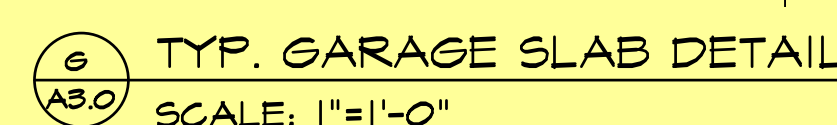
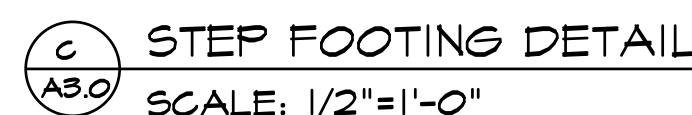
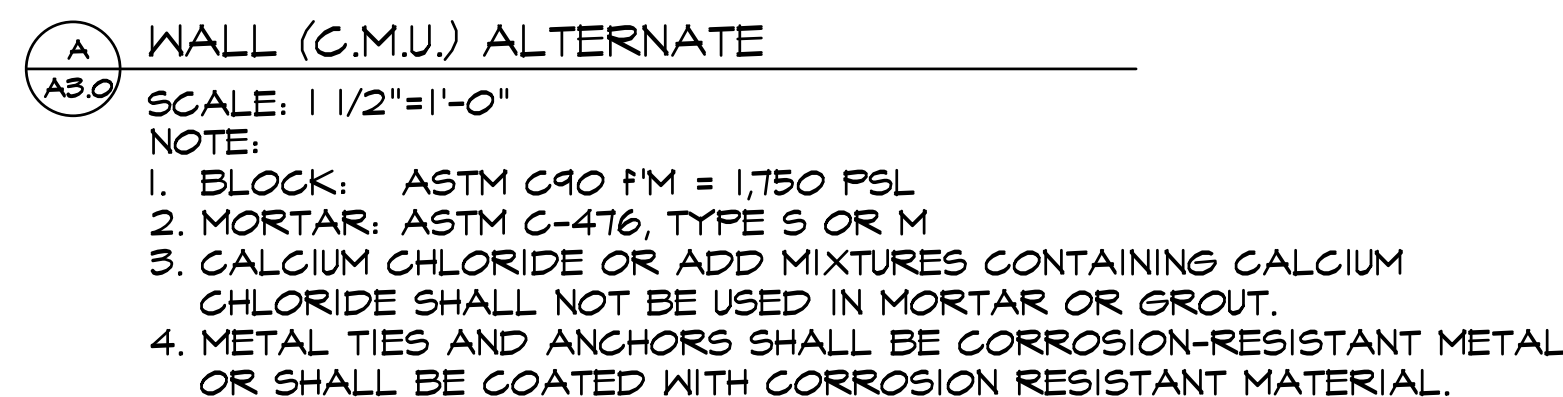
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**A2.1**

ELEVATIONS





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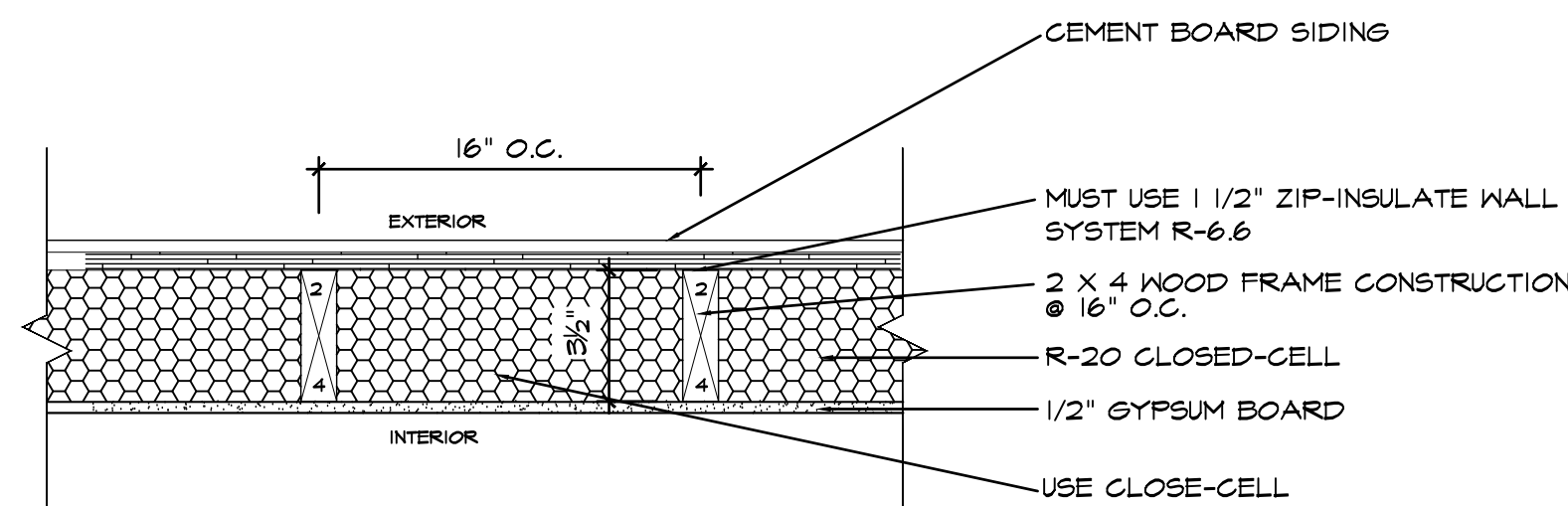
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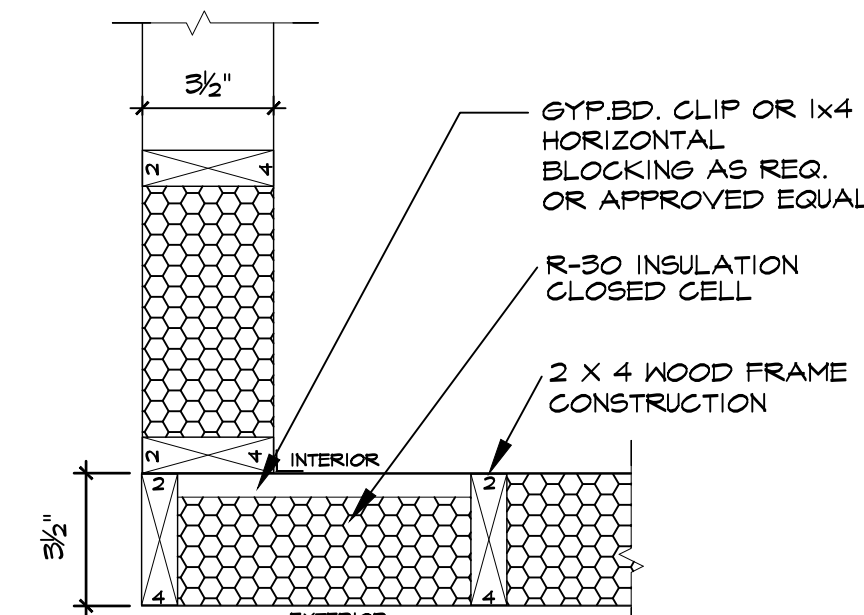
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## DETAILS

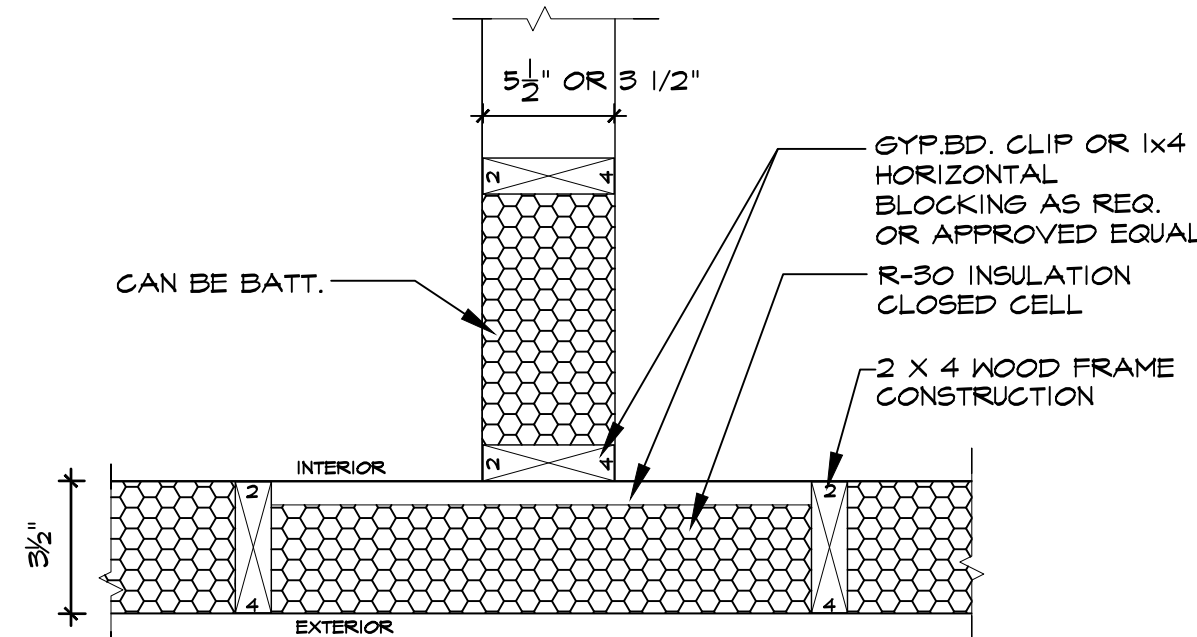




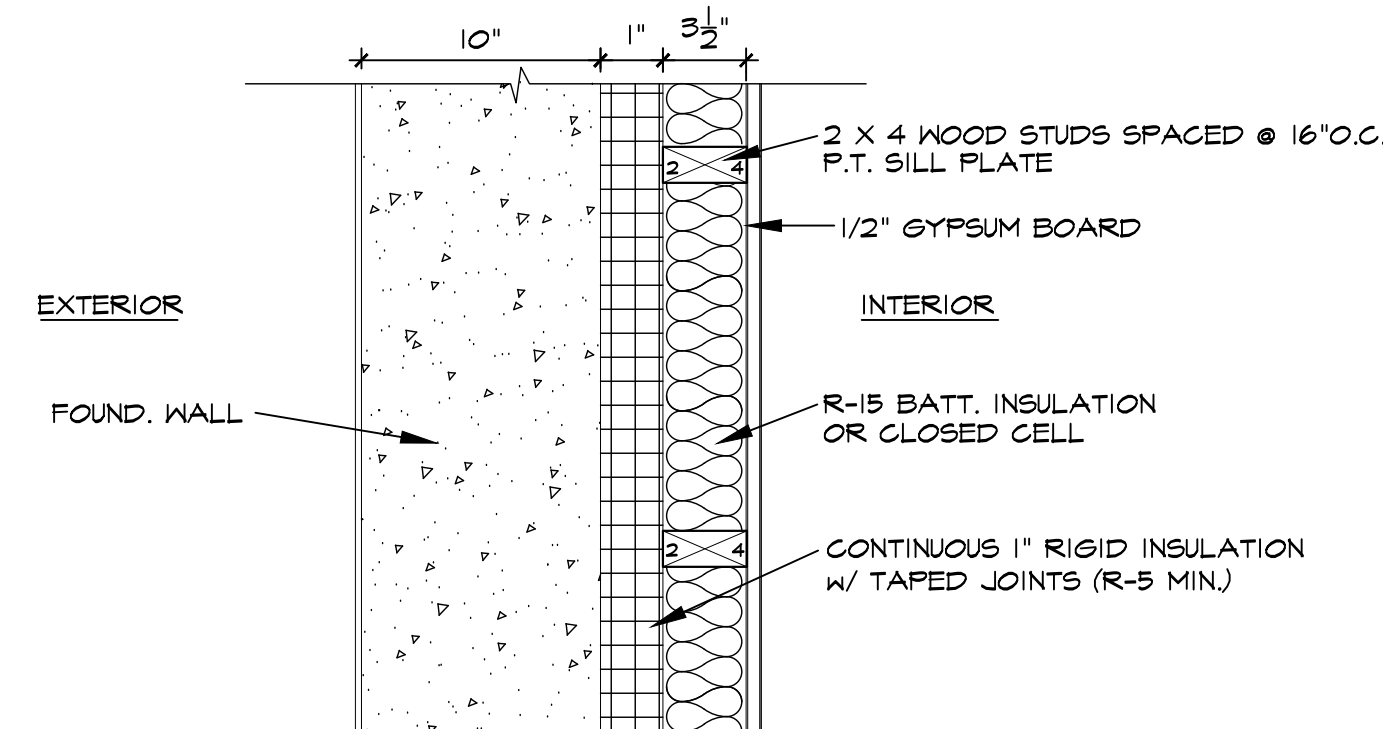
**A** EXTERIOR WALL (TYPICAL)  
SCALE: 1 1/2"=1'-0"



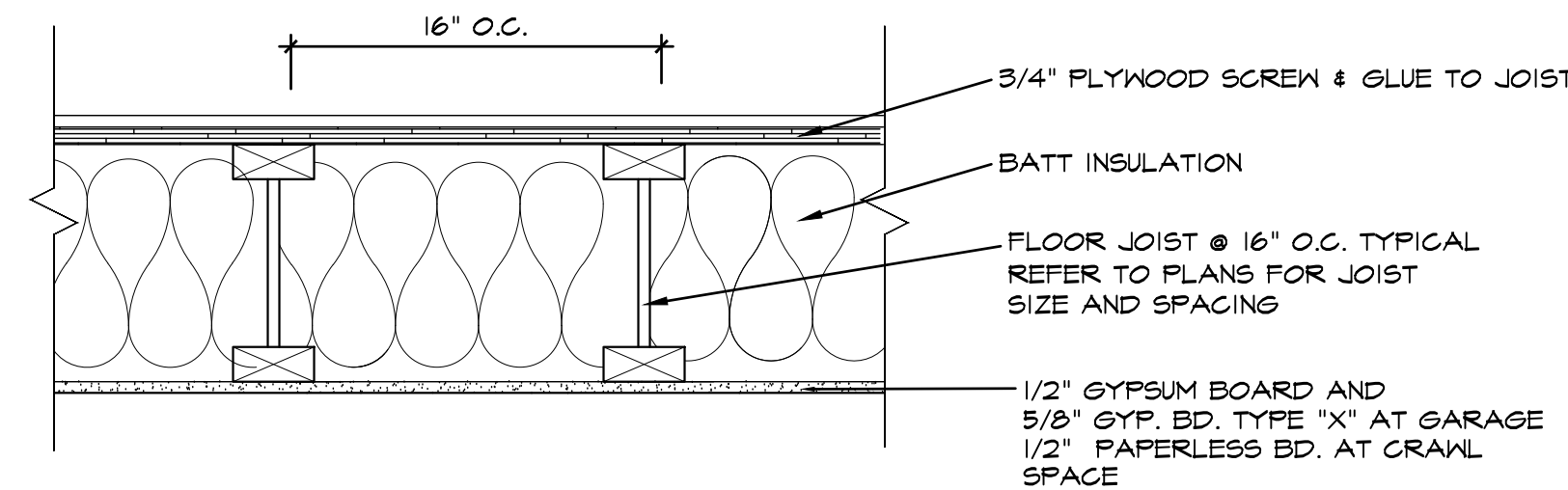
**B** INSULATED CORNER DETAIL  
SCALE: 1 1/2"=1'-0"



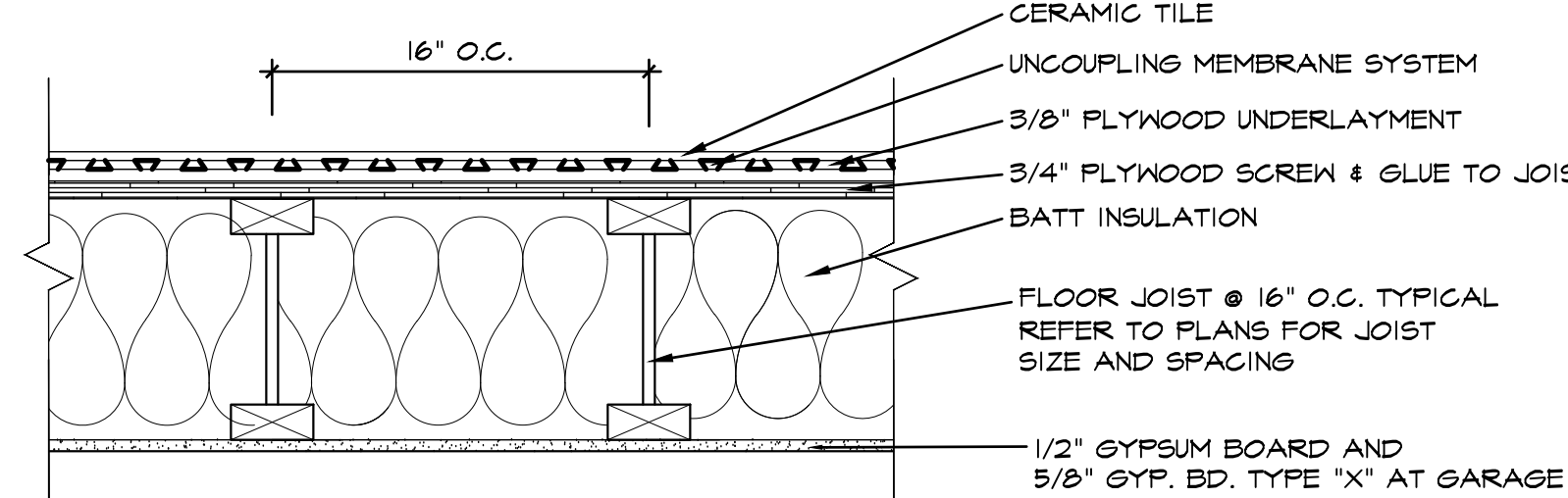
**C** INSULATED T-WALL DETAIL  
SCALE: 1 1/2"=1'-0"



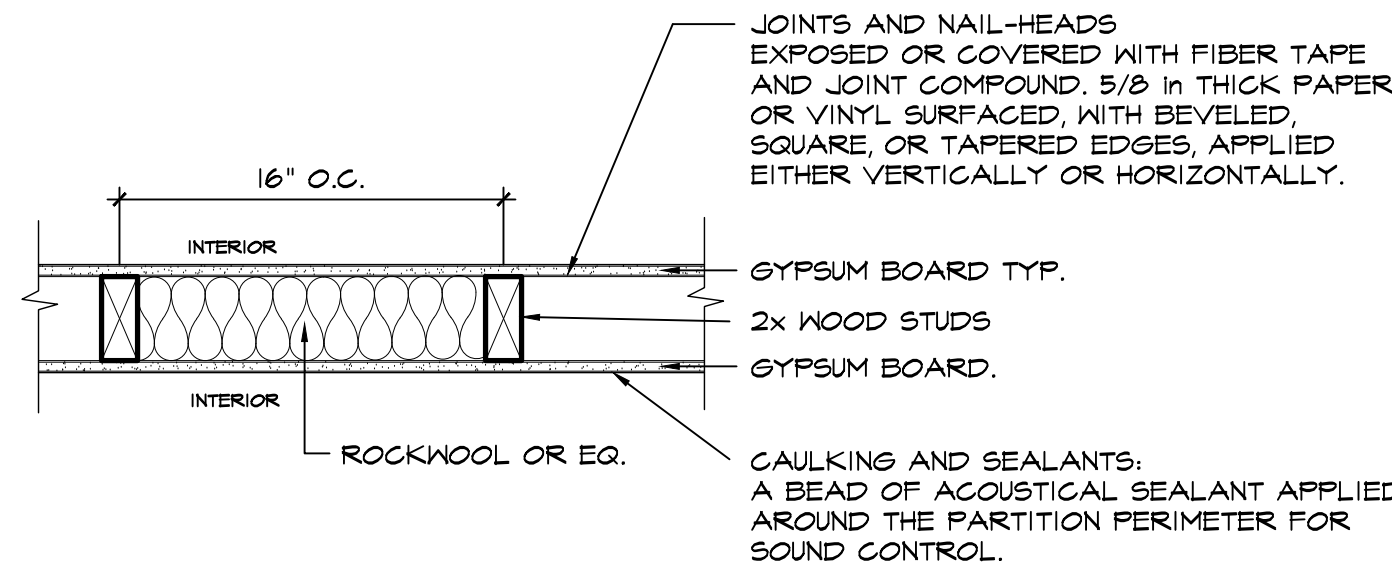
**D** TYP. BASEMENT WALL DETAIL (R-20)  
SCALE: 1 1/2"=1'-0"



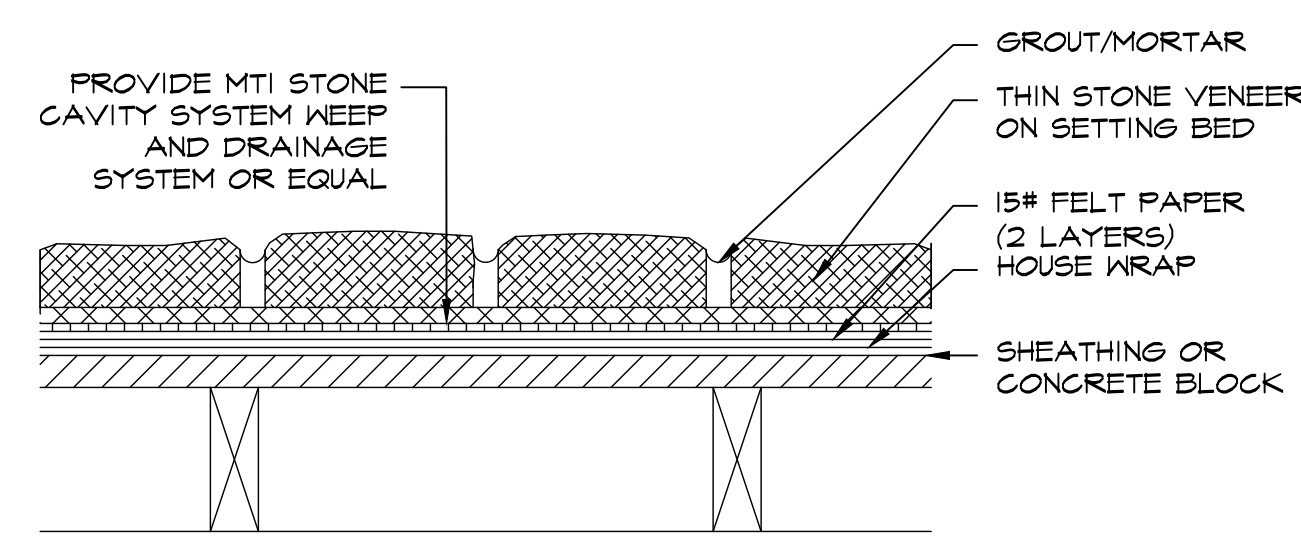
**E** FLOOR DETAIL  
SCALE: 1 1/2"=1'-0"  
PROTECT ALL WOOD FRAMING PER CODE



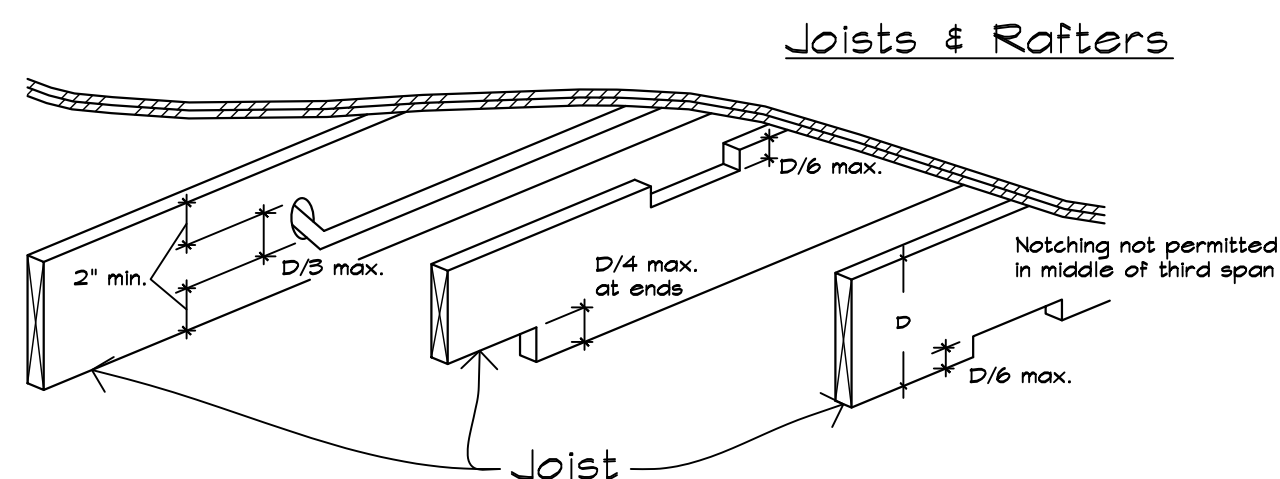
**F** FLOOR DETAIL @ CERAMIC TILE  
SCALE: 1 1/2"=1'-0"  
PREPARE FLOOR SYSTEM AND INSTALL TILE PER TCNA.



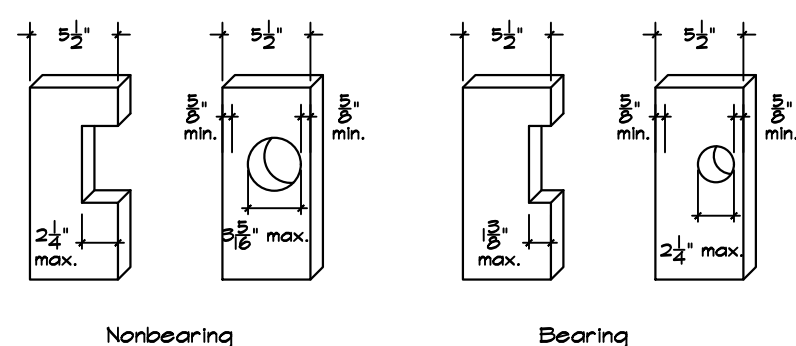
**G** 4" INTERIOR  
SCALE: 1 1/2"=1'-0"



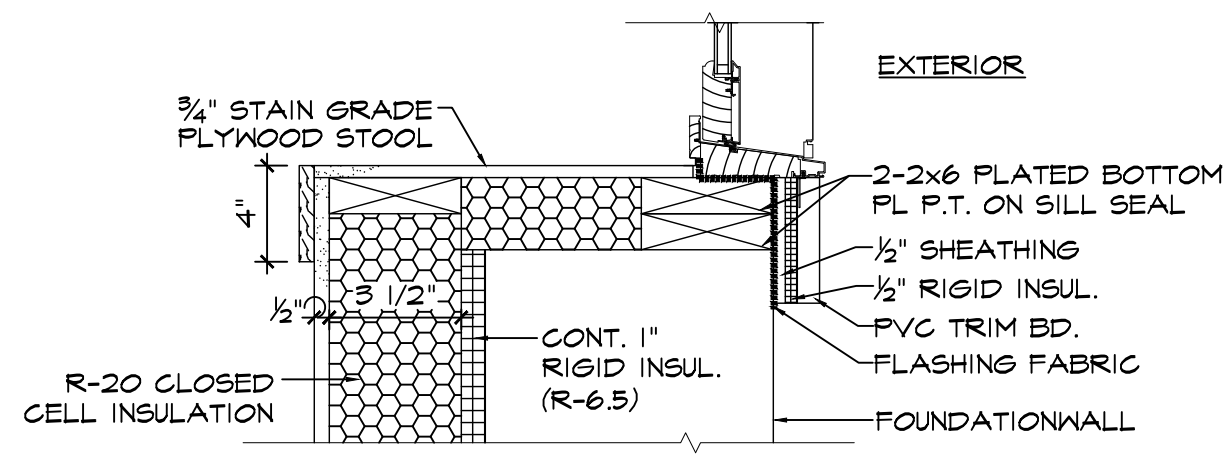
**H** STONE VENEER DETAIL  
SCALE: 1" = 1'-0"



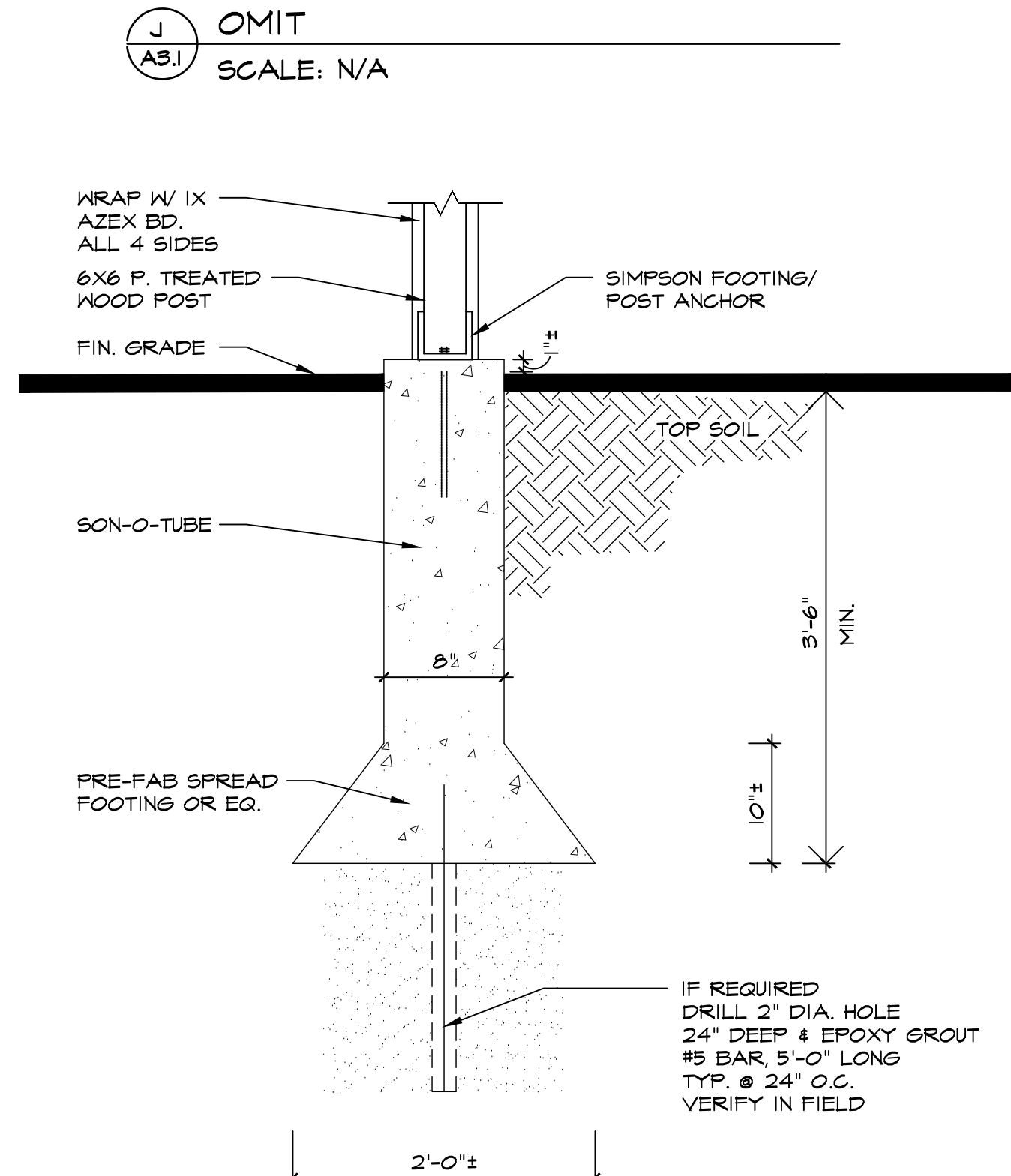
**Studs**



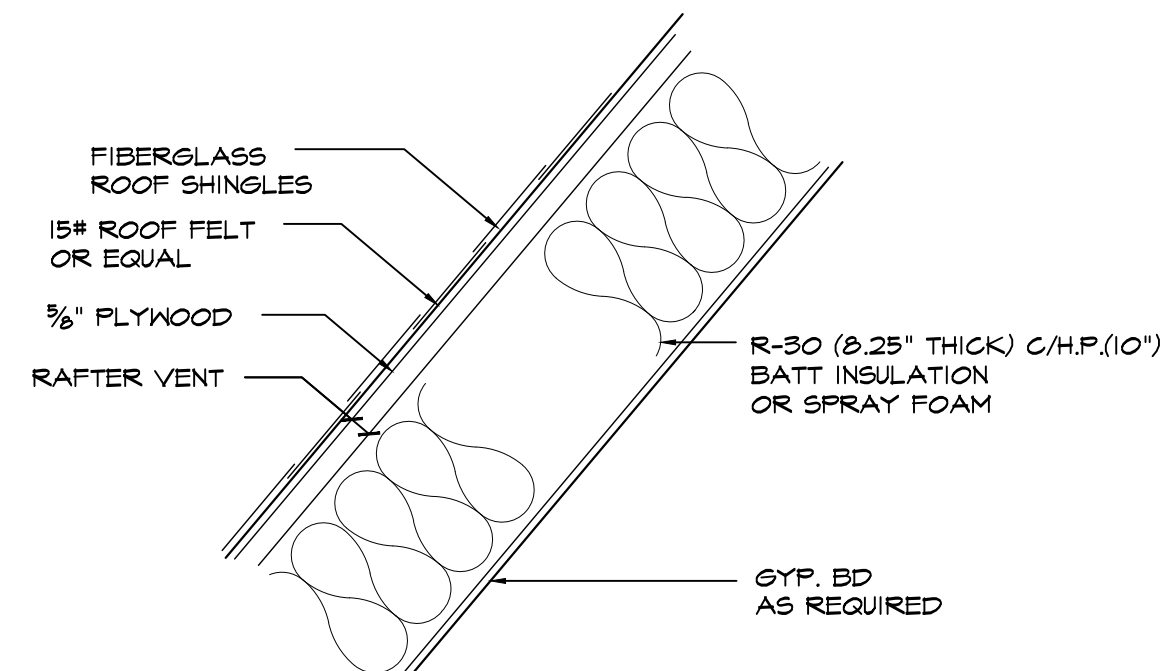
**I** NOTCH AND BORE DETAIL  
SCALE: N.T.S.



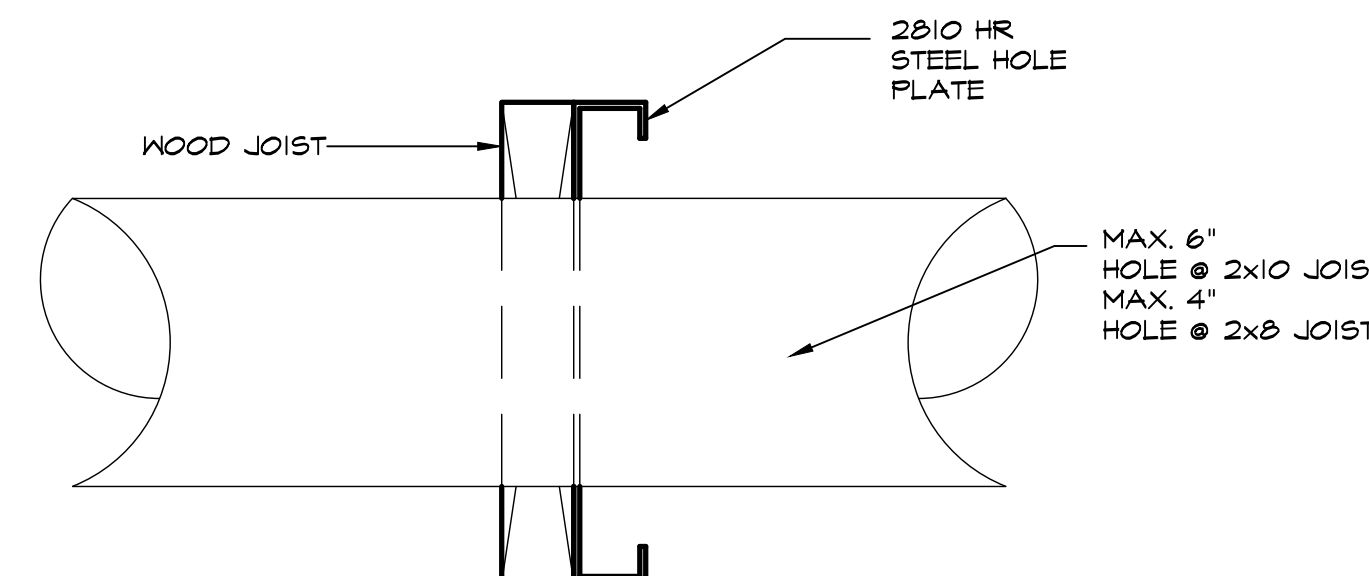
**M** WINDOW SILL DETAIL  
SCALE: 1 1/2"=1'-0"



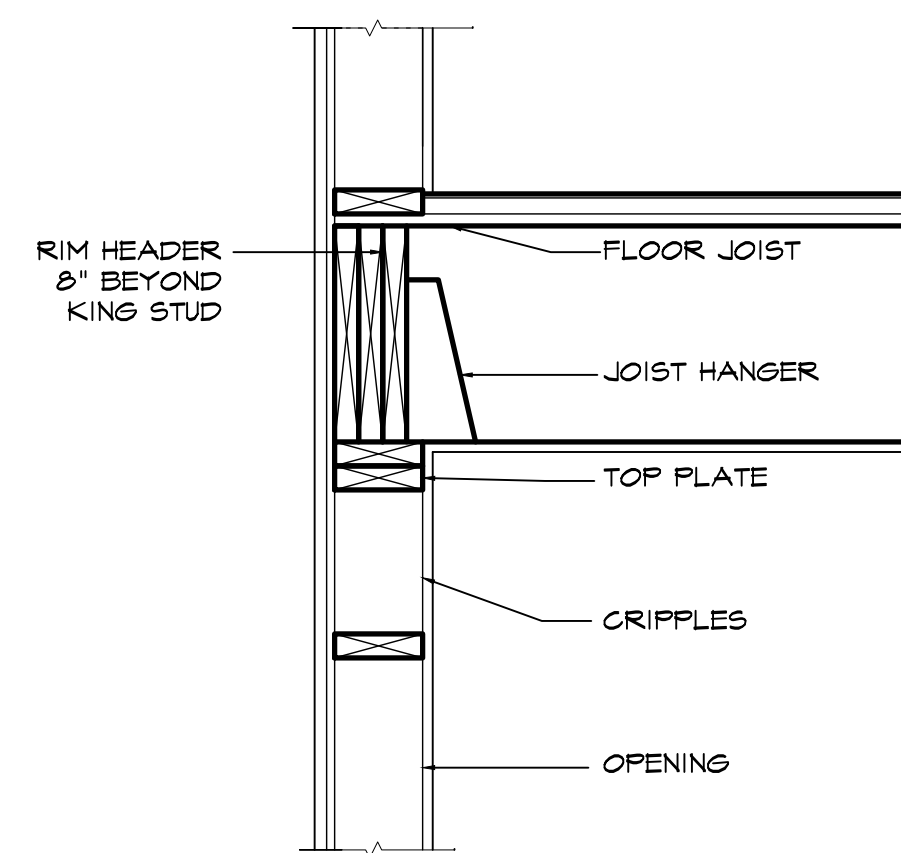
**N** TYP. PIER FOOTING  
SCALE: 1" = 1'-0"



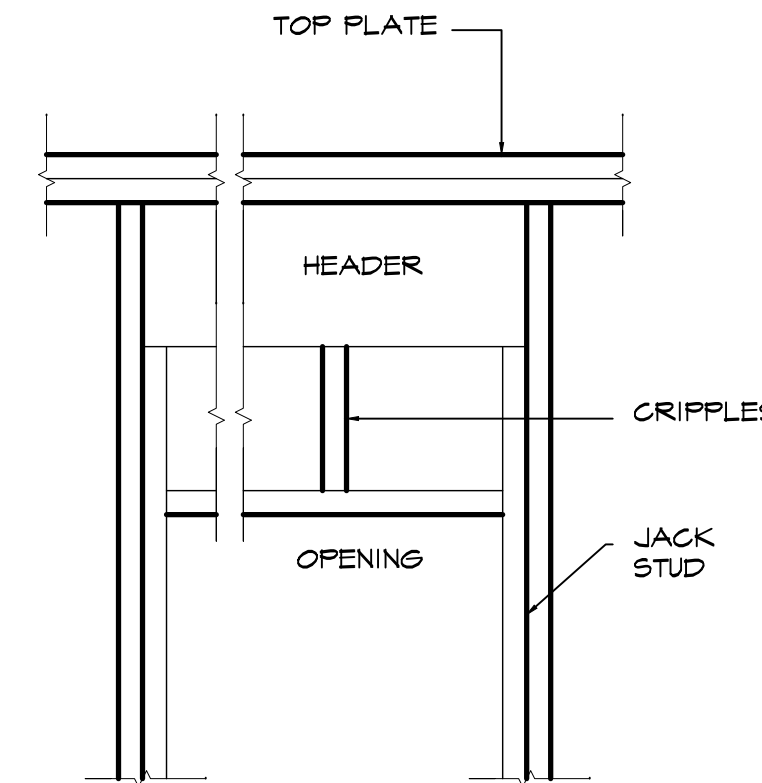
**K** ROOF RAFTER DETAIL  
SCALE: 1-1/2" = 1'-0"  
NOTE: VENT NOT REQUIRED IF INSULATED WITH SPRAYFOAM



**L** HOLE REINFORCER DETAIL  
SCALE: 3" = 1'-0"  
2810 HR STEEL PLATE AS MANUFACTURED BY: SKYLINE JOIST REPAIR OR APPROVED EQUAL.



**O** RIM BOARD HEADER DETAIL  
SCALE: 1"=1'-0"

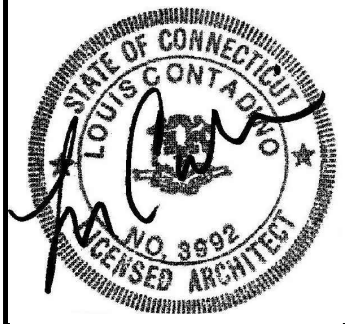


**P** BRACED HEADER DETAIL  
SCALE: 1"=1'-0"

ALTERATIONS AND ADDITIONS TO THE:  
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47 RIDGE STREET  
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**A3.1**

DETAILS

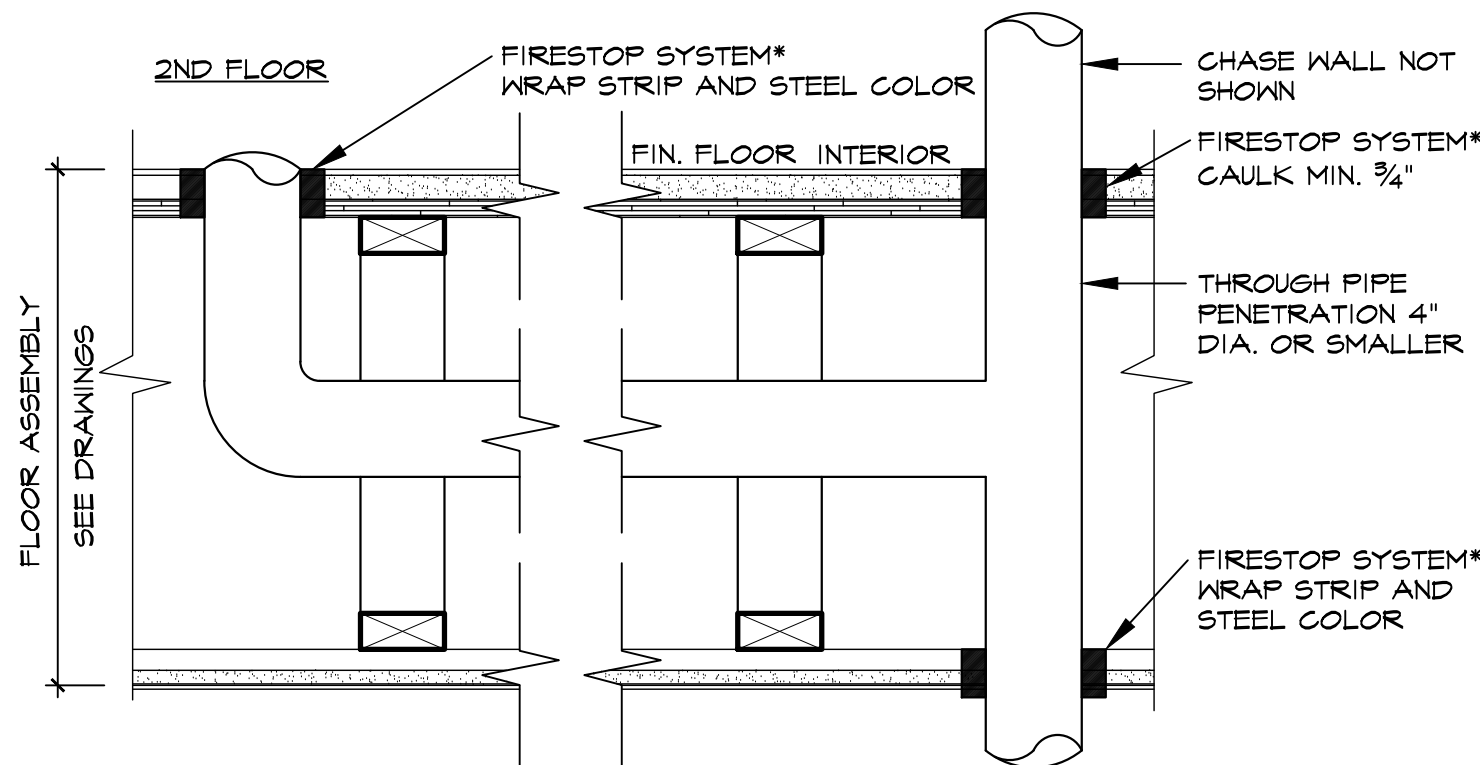
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS  
PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT  
IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

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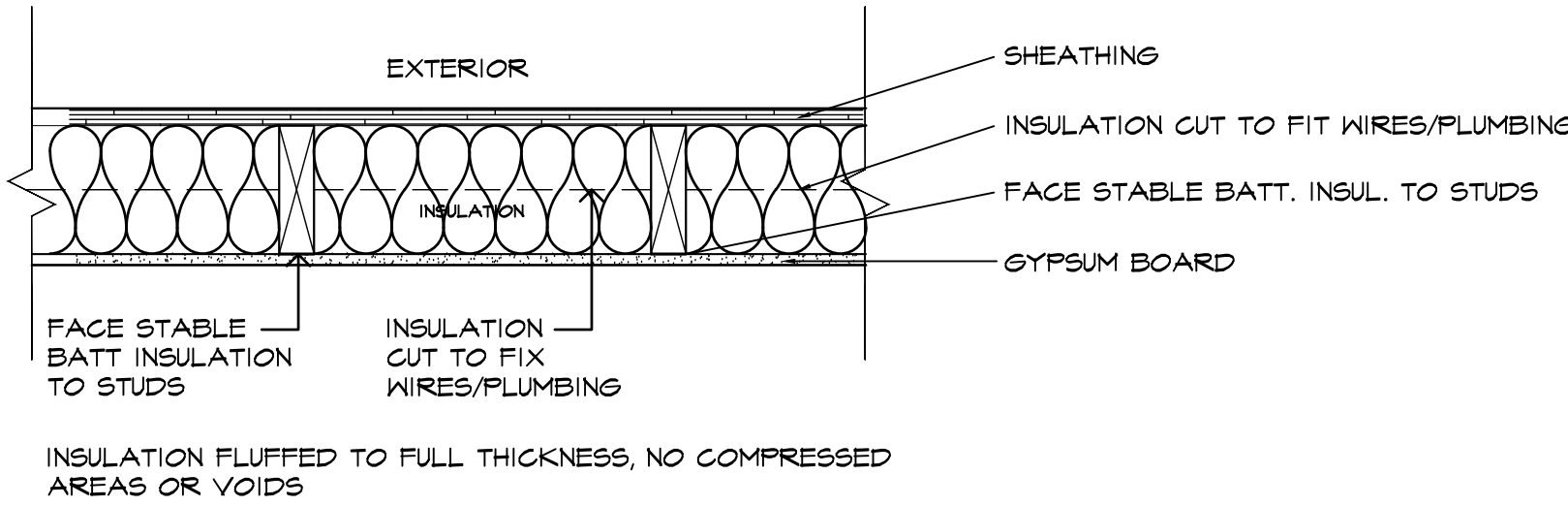
INTERNATIONAL ENERGY CONSERVATION CODE  
AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA  
GENERAL CONTRACTOR TO PROVIDE THE FOLLOWING

COMPONENT	CRITERIA
AIR BARRIER (TYVEK) AND THERMAL BARRIER (INSULATION)	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED. AIR-PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL. AIR-PERMEABLE INSULATION IS INSIDE OF AN AIR BARRIER.
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING/SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED. ATTIC ACCESS (EXCEPT UNVENTED ATTIC), KNEE WALL DOOR, OR DROP DOWN STAIR IS SEALED.
WALLS	CORNERS AND HEADERS ARE INSULATED. JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED. WALLS SEPARATING UNCONDITIONED BASEMENTS/ATTICS AND CONDITIONED SPACE: PROVIDE R-10 + R-5 WALL SYSTEM. DOORS SEPARATING UNCONDITIONED BASEMENT/ATTIC AND CONDITIONED SPACE: PROVIDE U-0.30/INSULATED AND WEATHERSTRIPPING.
WINDOWS AND DOORS	SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING IS SEALED.
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AIR BARRIER.
FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS)	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT, OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION.
RECESSED LIGHTING IN ATTIC SPACES SEE DETAIL B/A3.2	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IC RATED, AND SEALED TO DRYWALL. EXCEPTION-FIXTURES IN CONDITIONED SPACE.
PLUMBING AND WIRING SEE DETAIL A/A3.2	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES. BATT INSULATION IS CUT TO FIT AROUND WIRING AND PLUMBING, OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	ALL ELECTRICAL AND COMMUNICATION BOXES WITHIN CONDITIONED SPACE TO BE SEALED PREFABRICATED TYPE MEETING NEMA 054 STANDARD.
HVAC REGISTER BOOTS SEE DETAIL C/A3.2	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE (OUTSIDE WALLS, FLOORS, CEILINGS) ARE SEALED TO SUBFLOOR OR DRYWALL.
THERMOSTAT	PROVIDE PROGRAMMABLE TYPE
DUCTS SEE DETAIL D/A3.2	ALL DUCTS INSULATED AND SEALED AIR HANDLERS AND FILTER BOXES SEALED. SUPPLY DUCTS IN ATTIC MIN. R-8 ALL OTHERS MIN. R-6. ALL DUCTS IN CONDITIONED SPACE TO BE TESTED FOR DUCT LEAKAGE AND MEET CODE STANDARDS.
MECHANICAL INSULATION PIPING	PIPES WITH FLUID ABOVE 105 F AND BELOW 55 F SHALL BE INSULATED MIN OF R-3
CIRCULATING HOT WATER SYSTEM	PIPES INSULATED MIN. R-2.
MECHANICAL VENTS	OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN NOT OPENING.
LIGHTING	ALL LAMPS SHALL BE HIGH-EFFICACY LAMPS CFL OR LED
SHOWER/TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL.
ACCESS DOORS	DOORS ADJACENT TO UNCONDITIONED SPACE (E.G. ATTICS, CRAWL SPACE) OR AMBIENT CONDITIONS GASKETED. ATTIC ACCESS PANELS AND DROP-DOWN STAIRS EQUIPPED WITH A DURABLE R > 10 INSULATED COVER THAT IS GASKETED (I.E. NOT CAULKED) TO PRODUCE CONTINUOUS AIR SEAL WHEN OCCUPANT IS NOT ACCESSING THE ATTIC.

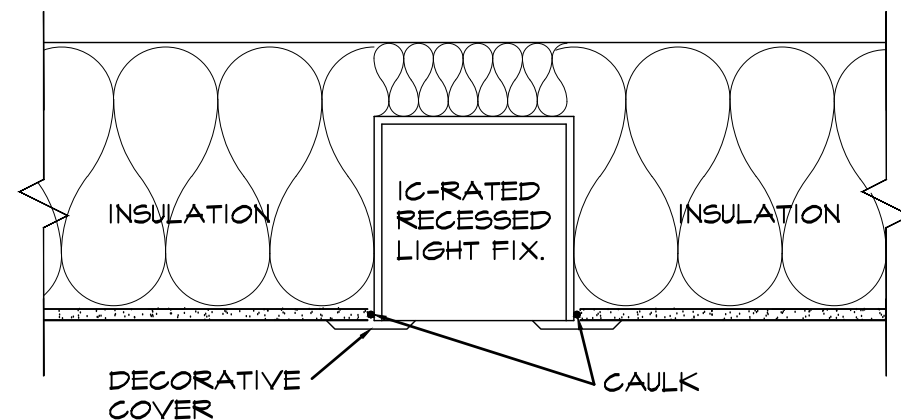


**A**  
A3.2 FIRESTOP DETAIL AT TOILET/FLOOR  
SCALE: N.T.S. UL. NO. F-C-2321 FIRE-RATED

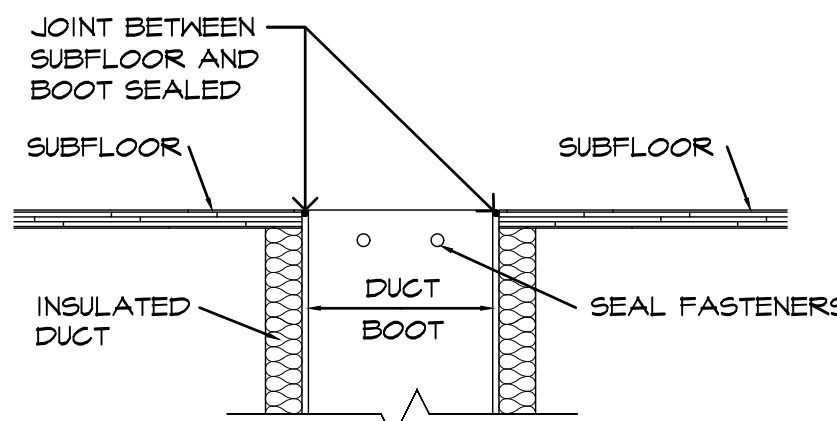
\*BEARING UL. CLASSIFICATION MARK  
RECTORSEAL BRAND



**B**  
A3.2 BATT INSULATION DETAIL  
SCALE: N.T.S.

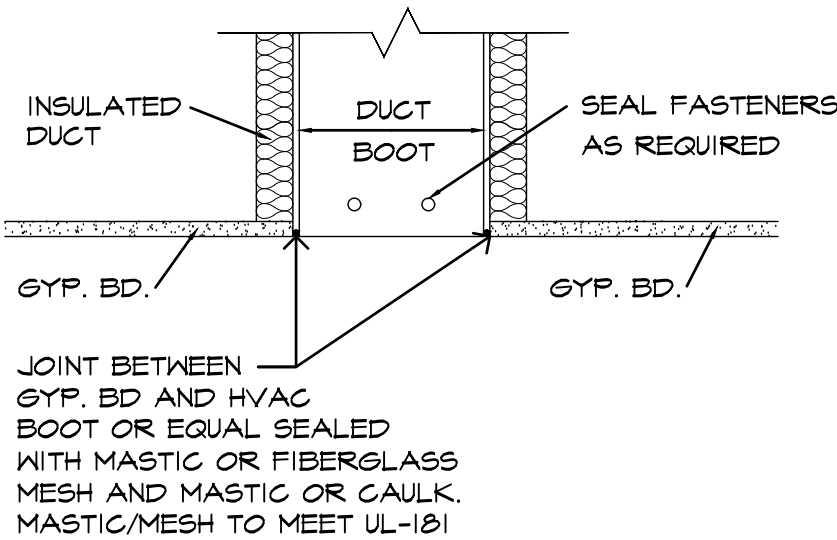


**C**  
A3.2 RECESSED FIXTURE DETAIL  
SCALE: N.T.S.

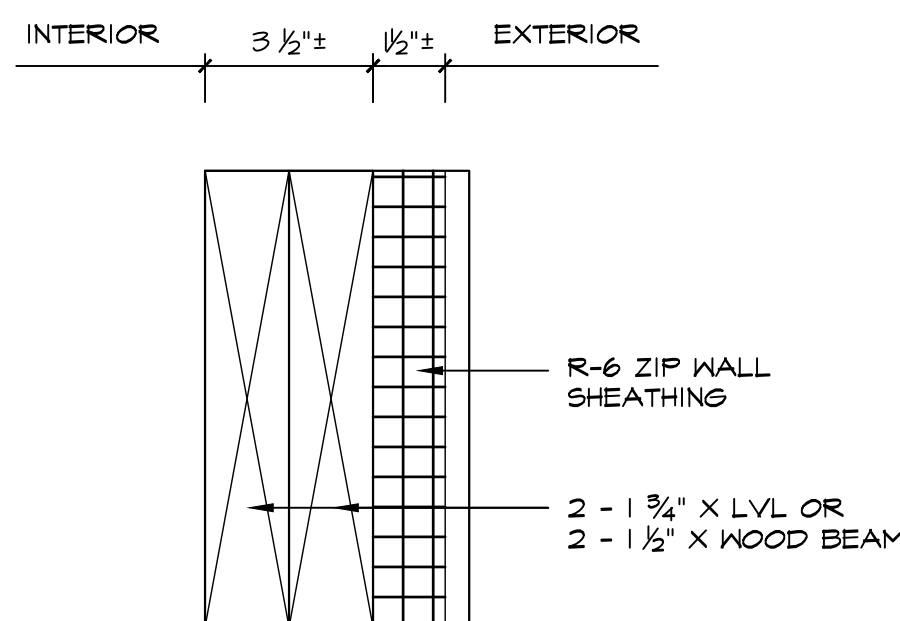


SEAL WITH MASTIC OR FIBERGLASS MESH TAPE AND MASTIC. TAPE TO MEET UL-181

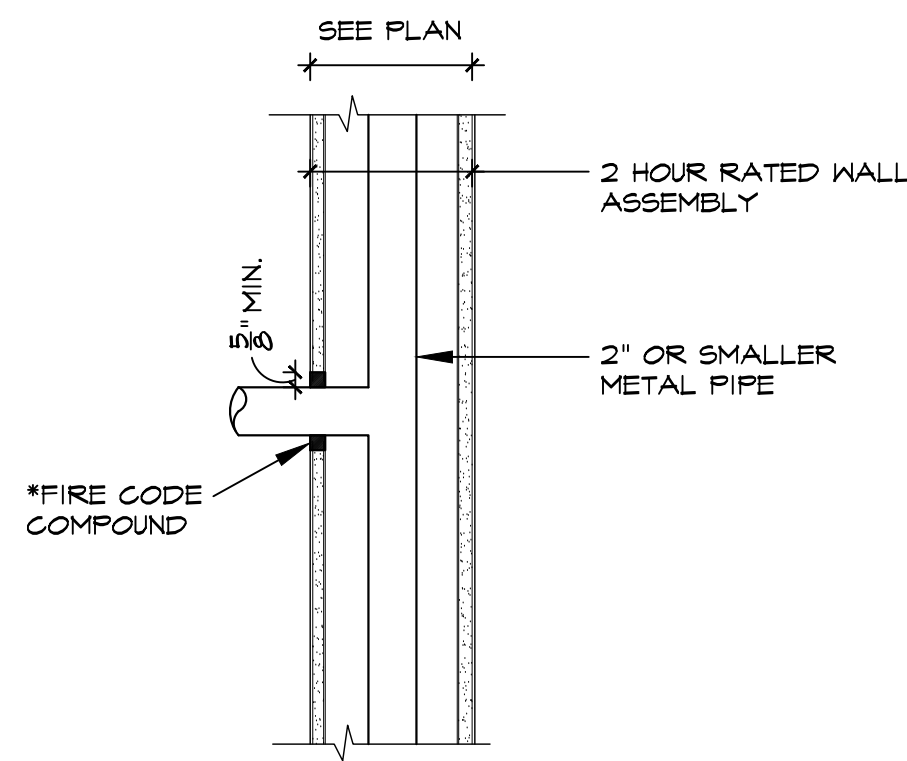
**D**  
A3.2 FLOOR DUCT SEALING DETAIL  
SCALE: N.T.S.



**E**  
A3.2 CEILING DUCT SEALING DETAIL  
SCALE: N.T.S.

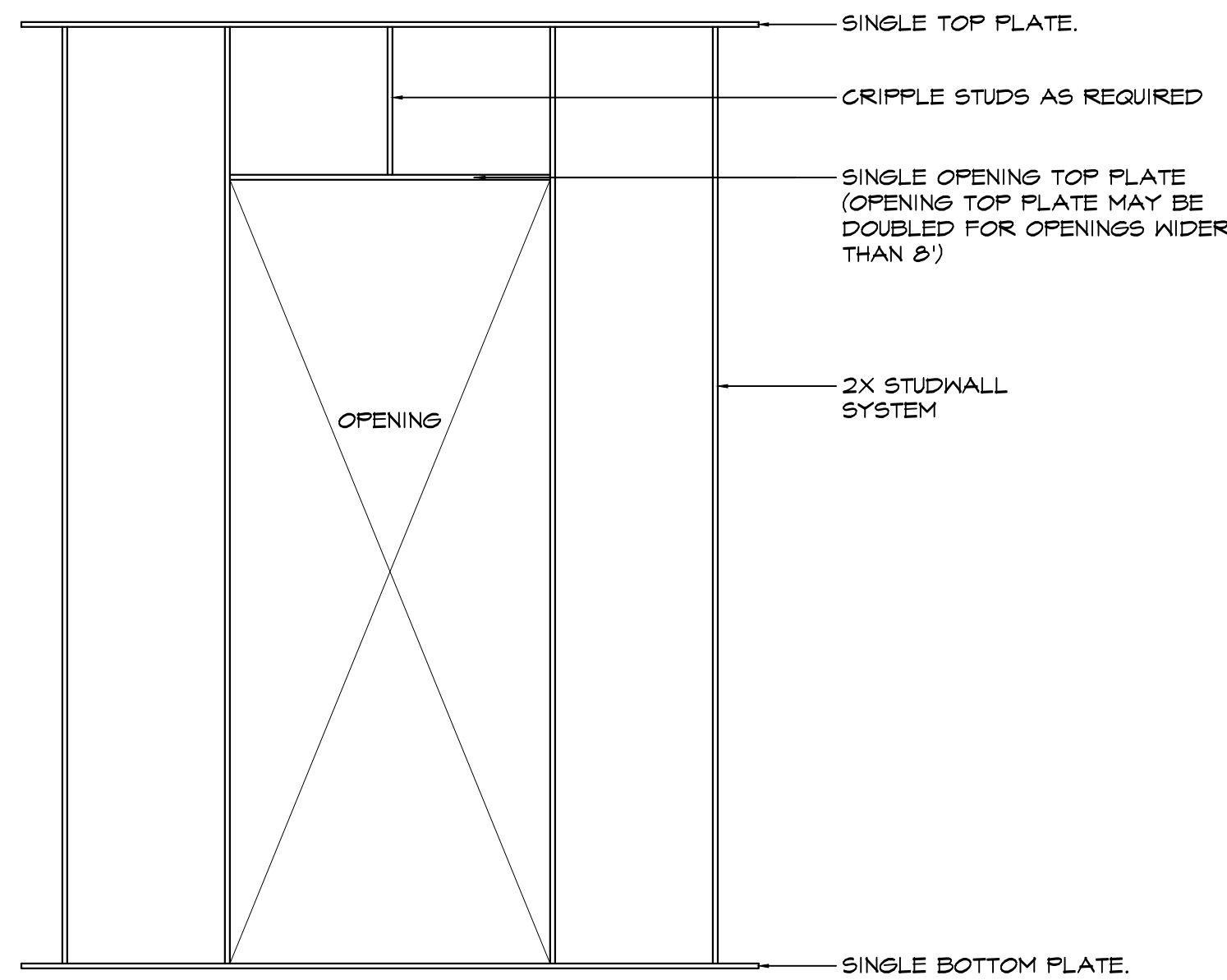


**F**  
A3.2 INSULATED HEADER DETAIL  
SCALE: 3"=1'-0"

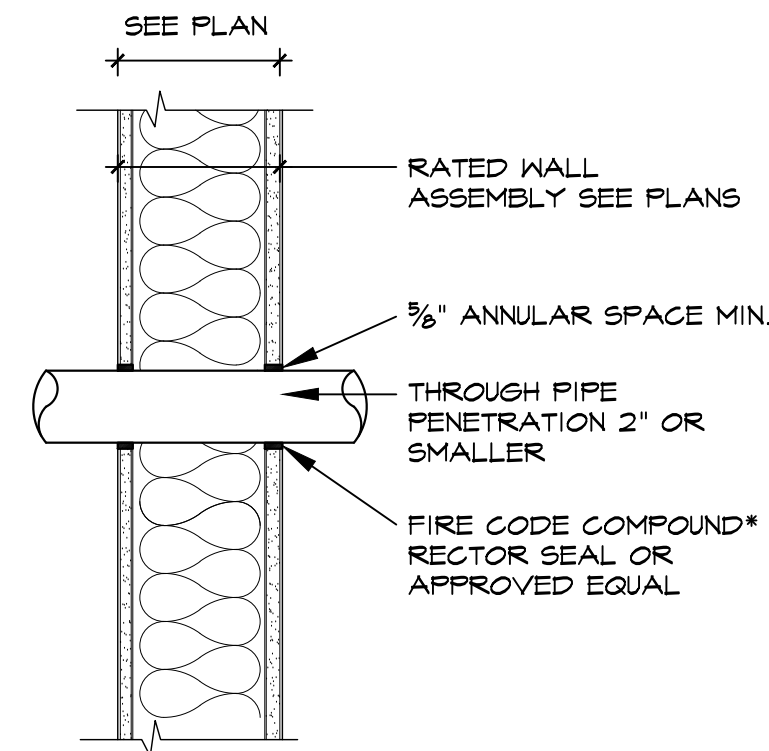


**G**  
A3.2 FIRESTOP DETAIL AT WALL  
SCALE: N.T.S. UL. NO. W-L-1353 FIRE-RATED

\*PROVIDE 3M COMPANY-IC 15WB FOR METALLIC PIPE  
PROVIDE NUCO INC-SELF SEAL 66-266 FOR NON-METAL PIPE



**H**  
A3.2 OPENING IN NON-BEARING WALL  
SCALE: N.T.S.



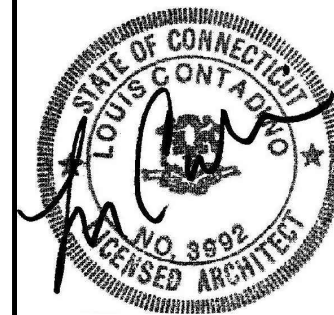
**I**  
A3.2 FIRESTOP DETAIL AT WALL  
SCALE: N.T.S. UL. NO. W-L-2241 FIRE-RATED

\*FIRECODE COMPOUND TO BEAR UL CLASSIFICATION MARK

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ALTERATIONS AND ADDITIONS TO THE:  
**BRUNO RESIDENCE**  
47 RIDGE STREET  
COS COB, CT 06807

**Contadino Architects AIA**  
436 East Putnam Ave. Cos Cob, CT 06807  
Phone (203)861-9007 Fax (203)861-6504



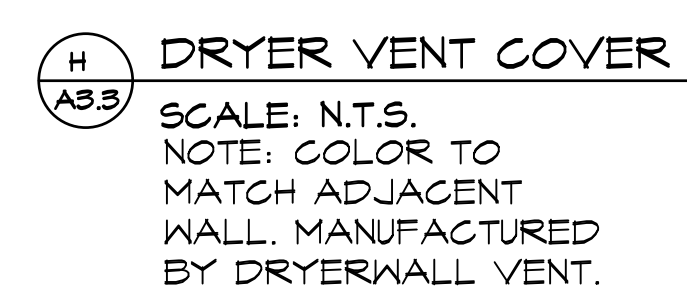
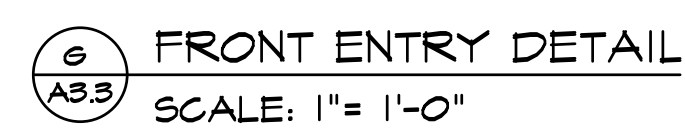
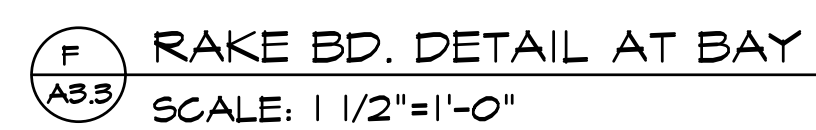
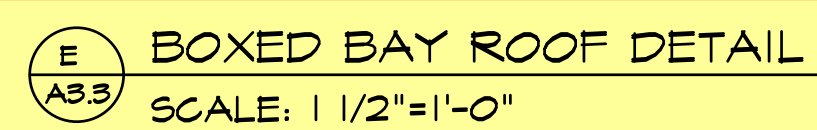
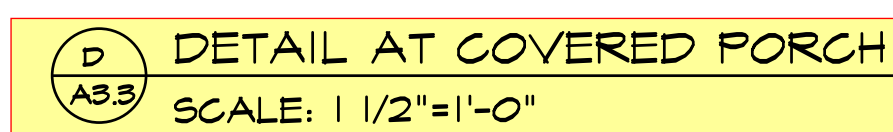
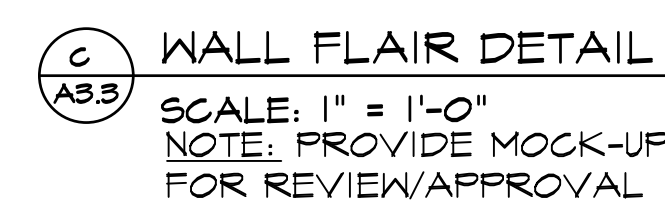
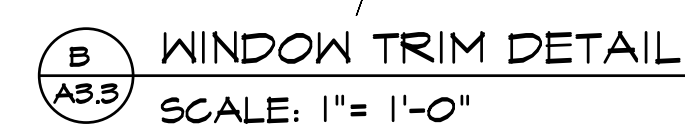
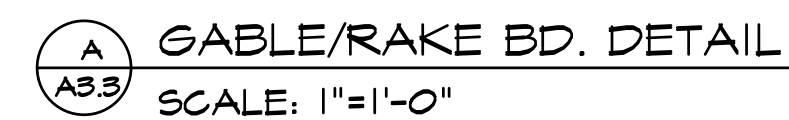
09-19-2023  
REV. DATE

**A3.2**

DETAILS

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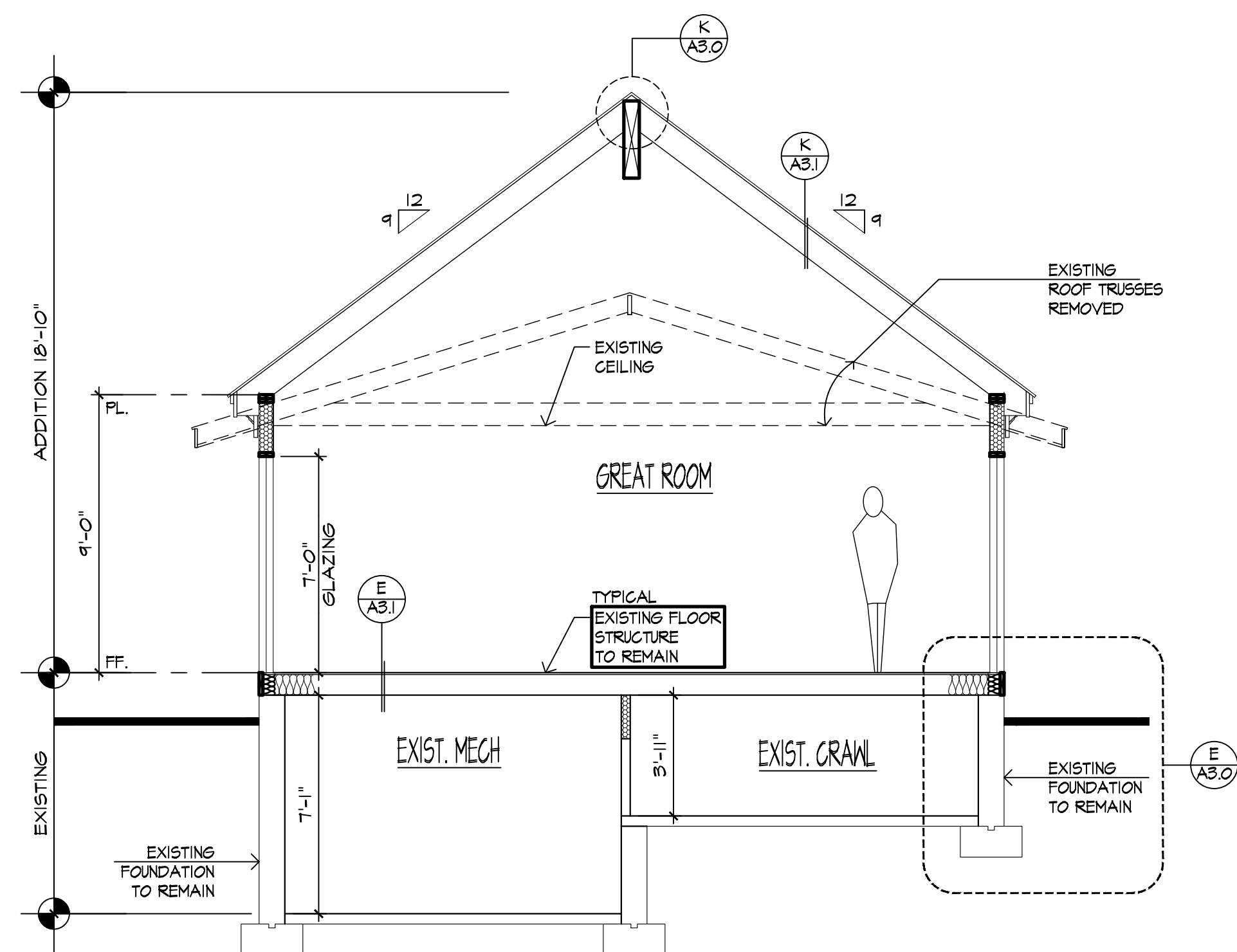
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### A3.3

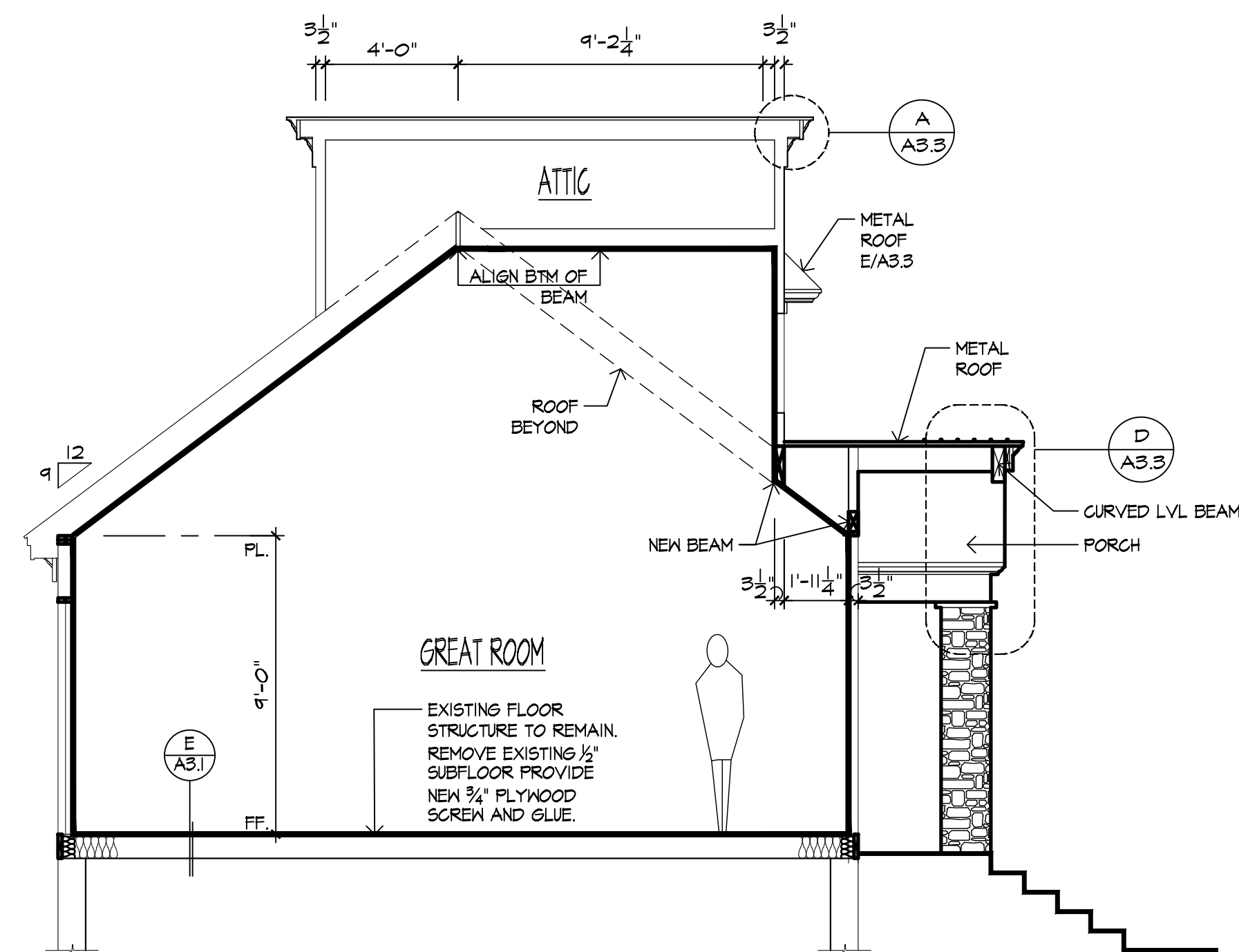
## DETAILS

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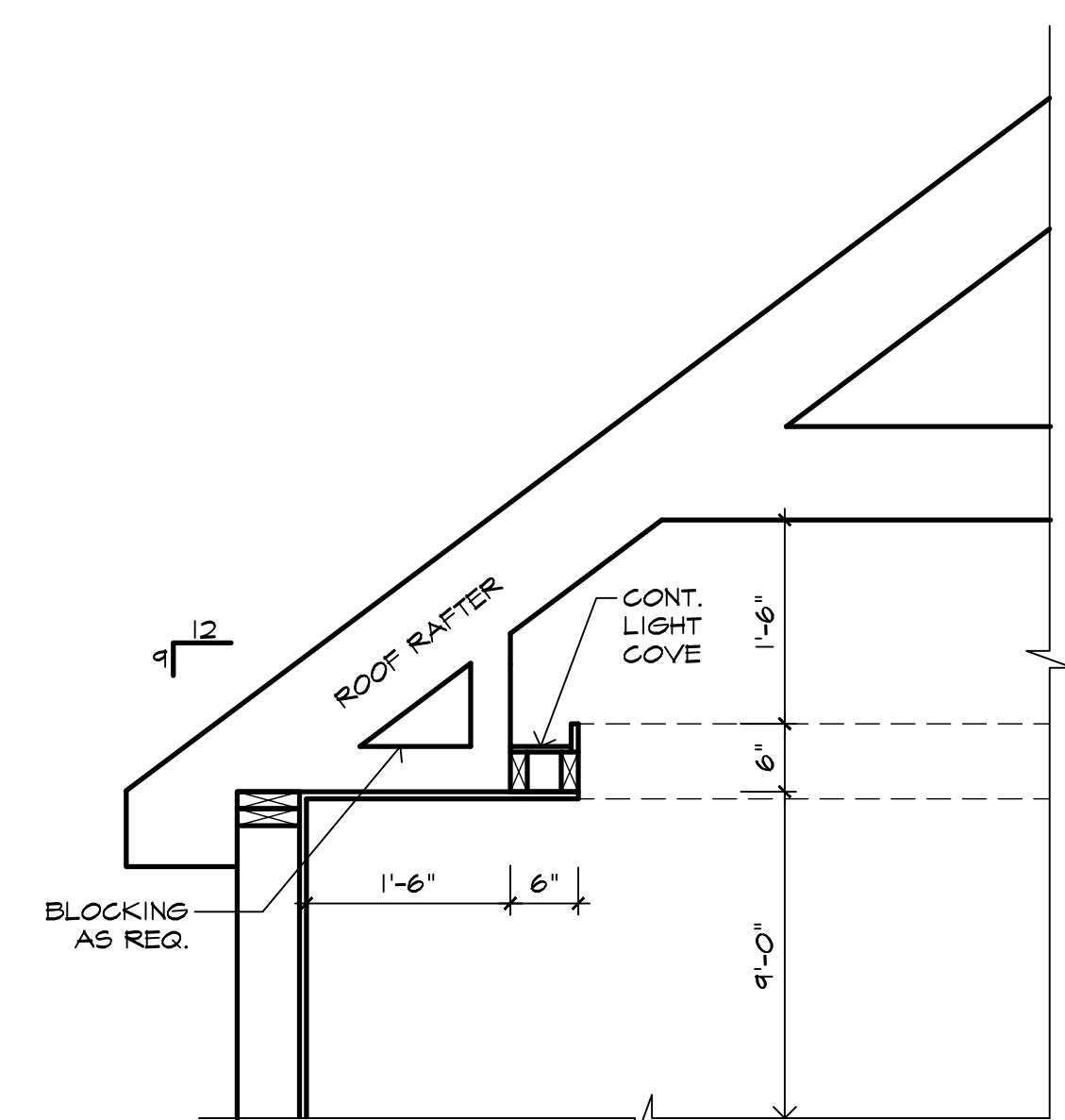





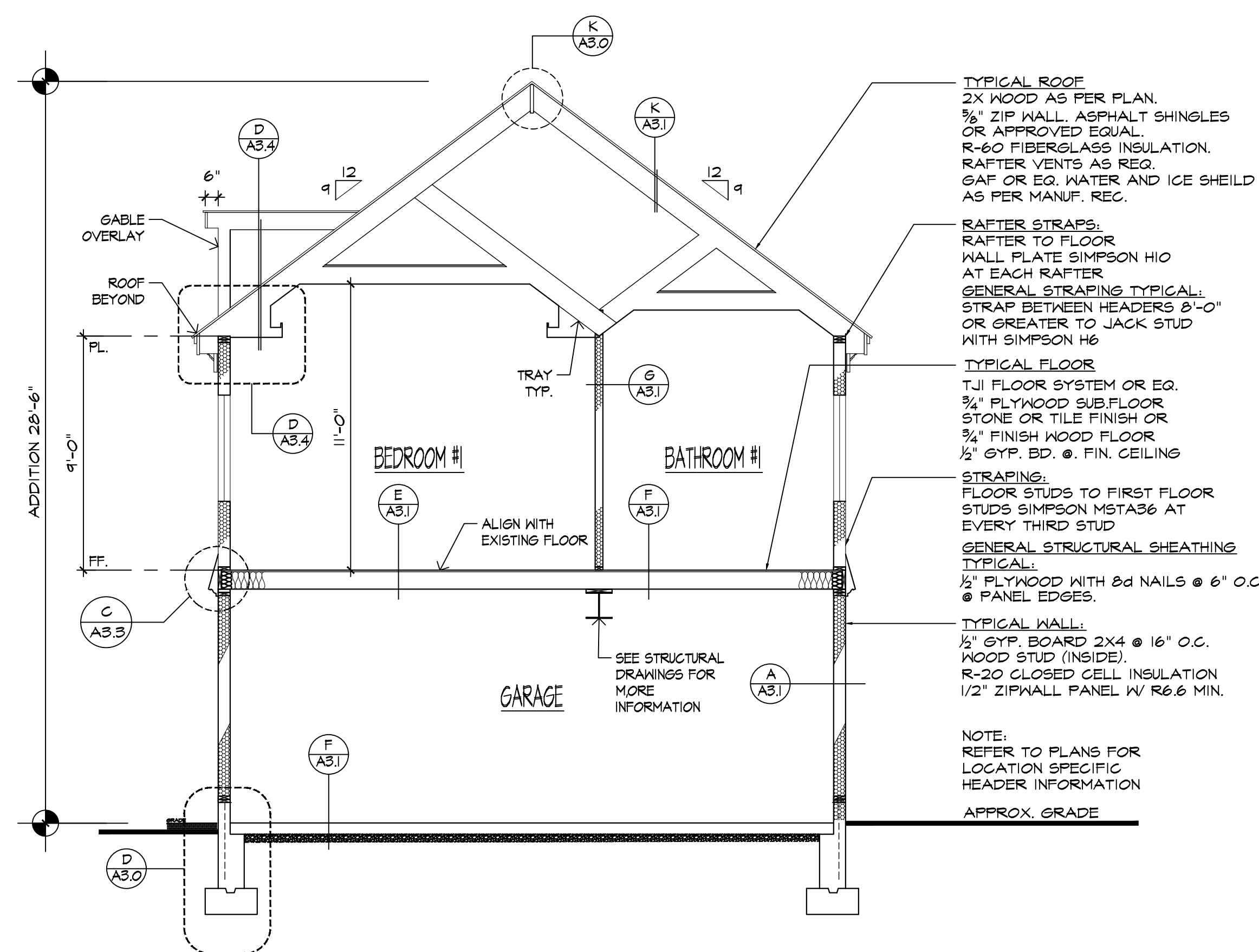
SECTION A  
SCALE: 1/4" = 1'-0"



SECTION C  
SCALE: 1/4" = 1'-0"




**CEILING DETAIL @ BEDROOM #1**  
**SCALE: 1"=1'-0"**



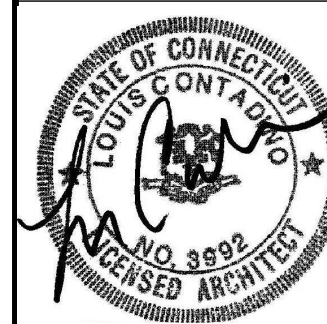
SECTION B  
SCALE: 1/4" = 1'-0"

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

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Phone (203) 861-9007 Fax (203) 861-6504



	09-19-2023
REV.	DATE

### A3.4

## DETAILS



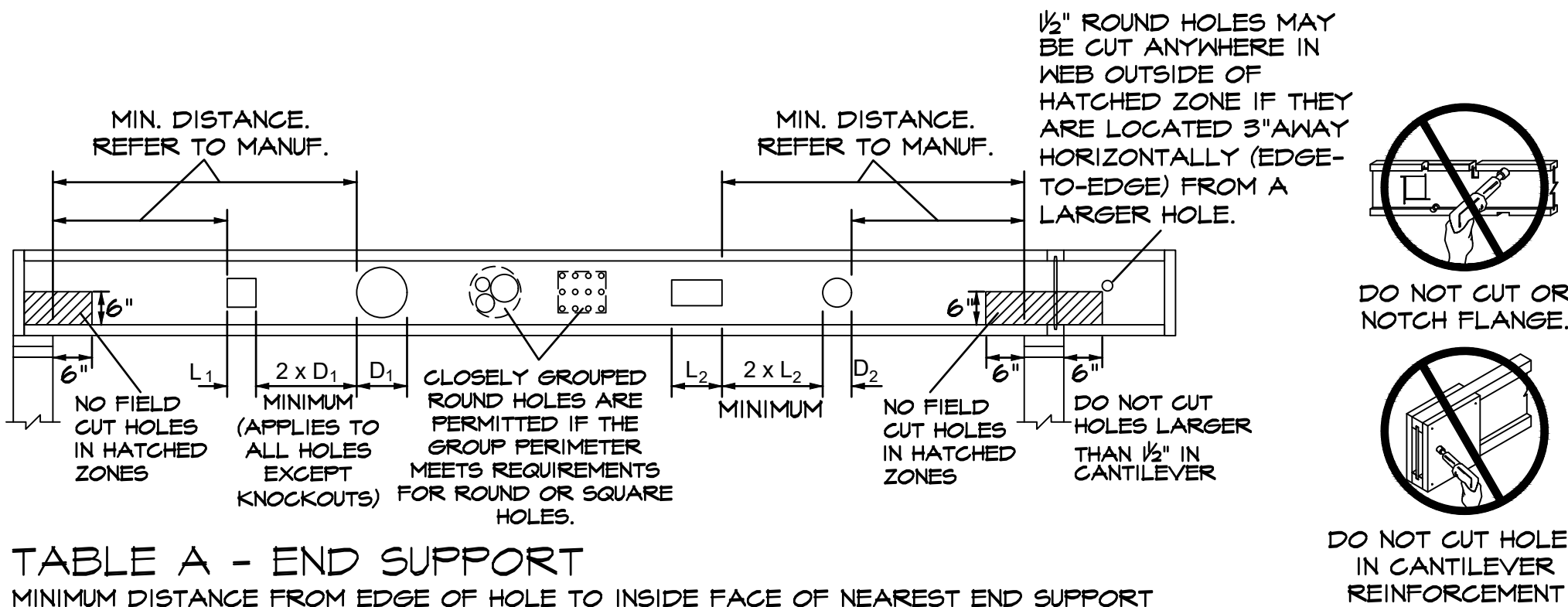
0

A

B

C

D



JOIST DEPTH	TJI®	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
		2"	3"	4"	5"	6 1/2"	7"	8 7/8"	11"	13"		2"	3"	4"	5"	6 1/2"	7"	8 7/8"	11"	13"	
9 1/2"	110	1'-0"	1'-6"	2'-0"	3'-0"	3'-0"						1'-0"	1'-6"	2'-0"	3'-6"	4'-6"					
	210	1'-0"	1'-6"	2'-6"	3'-0"	3'-6"						1'-0"	2'-0"	2'-6"	4'-0"	5'-0"					
	230	1'-6"	2'-0"	2'-6"	3'-6"	3'-6"						1'-0"	2'-0"	3'-0"	4'-6"	5'-0"					
	360	1'-6"	2'-0"	3'-0"	4'-0"	6'-0"						1'-6"	2'-6"	3'-6"	5'-0"	5'-6"					
	560	1'-6"	2'-6"	3'-6"	5'-0"	7'-0"						2'-0"	3'-0"	4'-0"	5'-6"	6'-0"					
11 1/2"	110	1'-0"	1'-0"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"				1'-0"	1'-6"	2'-0"	2'-6"	4'-6"	5'-0"	6'-0"			
	210	1'-0"	1'-6"	2'-0"	2'-0"	3'-0"	3'-6"	6'-0"				1'-0"	1'-6"	2'-6"	3'-0"	3'-6"	5'-6"	6'-6"			
	230	1'-0"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"	6'-6"				1'-0"	2'-0"	2'-6"	3'-6"	5'-6"	5'-6"	7'-0"			
	360	1'-6"	2'-0"	3'-0"	3'-6"	4'-6"	4'-6"	7'-0"				1'-6"	2'-6"	3'-6"	4'-6"	6'-6"	6'-6"	7'-6"			
	560	1'-6"	2'-6"	3'-0"	4'-0"	5'-6"	6'-0"	8'-0"				2'-6"	3'-6"	4'-6"	5'-6"	7'-0"	7'-6"	8'-0"			
14"	110	1'-0"	1'-0"	1'-0"	1'-0"	1'-6"	2'-0"	3'-0"	3'-6"			1'-0"	1'-0"	1'-6"	2'-0"	3'-6"	4'-0"	6'-0"	8'-0"		
	210	1'-0"	1'-0"	1'-0"	1'-6"	2'-0"	2'-6"	3'-6"	6'-0"			1'-0"	1'-0"	2'-0"	2'-6"	4'-0"	4'-6"	6'-6"	8'-6"		
	230	1'-0"	1'-0"	1'-0"	1'-6"	2'-6"	2'-6"	4'-0"	7'-0"			1'-0"	1'-0"	2'-0"	3'-0"	4'-0"	5'-0"	7'-0"	9'-0"		
	360	1'-0"	1'-0"	1'-6"	2'-6"	3'-6"	4'-0"	5'-6"	8'-0"			1'-0"	1'-6"	2'-6"	4'-0"	6'-0"	6'-6"	8'-0"	9'-6"		
	560	1'-0"	1'-0"	2'-0"	3'-0"	4'-6"	5'-0"	6'-6"	9'-0"			1'-6"	3'-0"	4'-0"	5'-0"	7'-0"	7'-6"	9'-0"	10'-0"		
16"	110	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	3'-0"	3'-0"			1'-0"	1'-0"	1'-0"	1'-6"	3'-0"	3'-6"	7'-6"	10'-0"		
	210	1'-0"	1'-0"	1'-0"	1'-0"	1'-6"	2'-6"	3'-6"	6'-0"			1'-0"	1'-0"	1'-0"	2'-0"	3'-0"	3'-6"	6'-6"	8'-0"	11'-0"	
	230	1'-0"	1'-0"	1'-0"	1'-6"	1'-6"	3'-0"	4'-0"	7'-0"			1'-0"	1'-0"	1'-0"	2'-0"	3'-6"	4'-0"	7'-0"	9'-0"	11'-0"	
	360	1'-0"	1'-0"	1'-0"	1'-0"	2'-6"	2'-6"	4'-6"	6'-6"	9'-0"		1'-0"	1'-0"	1'-6"	3'-0"	3'-0"	5'-6"	9'-0"	10'-0"	11'-6"	
	560	1'-0"	1'-0"	1'-0"	2'-6"	3'-0"	3'-0"	5'-0"	7'-6"	10'-0"		1'-0"	2'-0"	3'-0"	4'-6"	6'-6"	7'-0"	10'-0"	11'-0"	12'-0"	
18"	360	1'-0"	1'-0"	1'-0"	2'-0"	4'-0"	5'-6"	9'-6"				1'-0"	3'-0"	4'-6"	6'-0"	10'-0"	11'-0"	13'-6"			
	560	1'-0"	1'-0"	1'-0"	2'-0"	4'-6"	7'-0"	10'-6"				2'-0"	3'-0"	6'-6"	8'-0"	11'-0"	12'-0"	14'-0"			
	560	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	4'-0"	7'-0"	10'-0"			1'-0"	1'-6"	3'-0"	4'-6"	8'-0"	11'-6"	13'-6"	15'-6"		
20"	360	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	4'-0"	7'-0"	10'-0"			1'-0"	1'-6"	3'-0"	4'-6"	8'-0"	11'-6"	13'-6"	15'-6"		
	560	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	4'-6"	8'-6"	11'-0"			1'-0"	3'-6"	5'-0"	7'-0"	10'-6"	13'-0"	14'-6"	15'-6"		

- RECTANGULAR HOLES BASED ON MEASUREMENT OF LONGEST SIDE.
- LEAVE 1/2" OF WEB (MINIMUM) AT TOP AND BOTTOM OF HOLE. DO NOT CUT JOIST FLANGES.
  - TABLES ARE BASED ON UNIFORM LOAD TABLES IN CURRENT DESIGN LITERATURE.
  - FOR SIMPLE SPAN (5' MINIMUM), UNIFORMLY LOADED JOISTS USED IN RESIDENTIAL APPLICATIONS, ONE MAXIMUM SIZE ROUND HOLE MAY BE LOCATED AT THE CENTER OF THE JOIST SPAN PROVIDED THAT NO OTHER HOLES OCCUR IN THE JOIST.

GENERAL NEW DOOR SCHEDULE NOTES:

- A. ALL HARDWARE SHALL BE CYLINDRICAL TYPE U.O.N. TO MATCH EXISTING
- B. ALL HARDWARE TO COMPLY WITH BUILDING CODE.
- C. ALL ANCILLARY DOOR HARDWARE, INCLUDING BUT NOT LIMITED TO, HINGES, DOOR STOPS, CLOSERS, ETC., SHALL HAVE FINISH TO MATCH.
- D. HARDWARE SETS AND LOCKING REQUIREMENTS TO BE SCHEDULED BY THE SUPPLIER AND SUBMITTED TO THE RIGHTECT AND/OR INTERIOR DESIGNER BEFORE FINAL ORDERS ARE PLACED.
- E. PROVIDE STOPS AT ALL DOORS, UNLESS DOOR SWING AND OR LOCATION OF WALL OR DOOR PROHIBITS USE OF STOP. FLOOR STOP SHALL BE LOCATED IN FIELD WITH ARCHITECT AND/OR INTERIOR DESIGNER. FINISH TO MATCH.
- F. ALL FIRE RATED DOORS ARE TO BE SELF-CLOSING AND SELF-LATCHING. PROVIDE ADJUSTABLE DOOR CLOSER HINGES.
- G. DOOR FRAMES ARE TO BE SECURED TO WALL TO ENSURE THERE IS NO MOVEMENT OF THE FRAME FROM NORMAL USE.
- H. ALL DOORS ARE TO BE UNDERCUT 3/8", UNLESS OTHERWISE NOTED. FIRE-RATED DOORS SHALL BE UNDERCUT IN ACCORDANCE WITH LOCAL BUILDING AND FIRE CODES, AND NFPA 80.
- I. DOOR HARDWARE LOCATION SHALL BE AS FOLLOWS:  
CENTER LINE DEADLOCK AND STRIKE 48" AFF  
CENTER LINE PUSH AND PULL PLATES 45" AFF  
CENTER LINE PULL 42" AFF  
CENTER LINE LEVER/KNOB HANDLES 40 3/8" AFF
- J. PROVIDE TWO (2) HINGES ON DOORS LESS THAN 5'-0"
- K. THREE (3) HINGES ON DOORS BETWEEN 5'-0" AND 7'-6"
- L. FOUR (4) HINGES ON DOORS BETWEEN 7'-6" AND 10'-0"
- M. PROVIDE BALL BEARING HINGES ON ALL DOORS PROVIDED WITH CLOSERS.
- N. PROVIDE DUST BOX AT ALL DOOR STRIKES.

WINDOW SCHEDULE

PROVIDE FULL SCREEN WITH HI-TRANSPARENCY MESH. VERIFY INSTALLATION HARDWARE WITH CONTRACTOR. VERIFY UNIT SIZES IN FIELD PRIOR TO PREPARING SHOP DRAWINGS FOR REVIEW AND OWNERS APPROVAL. PROVIDE TEMPERED UNITS AS REQUIRED BY LOCAL CODE. PROVIDE WINDOW OPENINGS WITH LIMITING DEVICES PER LOCAL CODE AS REQUIRED. HARDWARE SELECTED BY OWNERS. PROVIDE PRE-PRIMED WOOD INTERIOR. VERIFY ALL WINDOW SIZES IN FIELD WITH MANUFACTURE REPRESENTATIVE. ALL UNITS SHALL BE FACTORY PRIMED, INTERIOR AND EXTERIOR COLOR TO BE DETERMINED. ALL GLAZING LOW E240 WITH ARGON GAS. VERIFY SWING DIRECTION OF CASEMENTS AND OPERABLE PANEL AT SLIDING DOORS WITH OWNER PRIOR TO ORDERING WINDOWS AND DOORS.

No.	MANUFACTURER	TYPE	UNIT NUMBER	UNIT DIMENSIONS (WxH)	H.H.	REMARKS
BASEMENT	A	ANDERSEN 400	CXW23	5'-11 1/8" x 2'-11 1/8"	-	
	B		CXW13	2'-11 1/8" x 2'-11 1/8"	-	TEMP
	C		C13	2'-0 1/8" x 2'-11 1/8"	-	
	D		6068	5'-11 1/4" x 6'-7 1/2"	6'-8"	
	E		FWG6068	5'-11 1/4" x 6'-7 1/2"	6'-8"	
FIRST FLOOR	F	ANDERSEN 400	D.H.	2'-7 1/8" x 4'-8 3/8"	7'-0"	-
	G		D.H.	(2)21046	5'-11 1/4" x 4'-8 3/8"	MULL AS UNIT
	H		D.H.	(3)2846	8'-4 3/8" x 4'-8 3/8"	MULL AS UNIT
	I		D.H.	2046	2'-11 1/8" x 4'-8 3/8"	-
	J		D.H.	3046	3'-11 1/8" x 4'-8 3/8"	EGRESS
	K		CASEMENT	C12	2'-0 1/8" x 2'-0 1/8"	-
	L		D.H.	(2)3046	6'-3 1/4" x 4'-8 3/8"	EGRESS, MULL AS UNIT
	M		PATIO	160611-4	15'-9" x 6'-10 3/8"	W/ SCREENS
	N		D.H.	(2)21046	5'-11 1/4" x 4'-8 3/8"	MULL AS UNIT
	O		D.H.	(2)2046	4'-3 1/4" x 4'-8 3/8"	TEMP, MULL AS UNIT
	P		SLIDER	6436	3'-11 1/4" x 3'-5 1/4"	COORDINATE W/ KITCHEN SHOP DRAWING PRIOR TO ORDER
	Q		D.H.	(2)2646	2'-7 1/8" x 4'-8 3/8"	MULL AS UNIT
	R	OMIT	-	-	-	-
	S	ANDERSEN 400	CW325	7'-0 3/8" x 2'-4 3/8"	-	FIXED, NO SLIDER
ATTIC						

\*AS ALTERNATE: PROVIDE PRICE QUOTE FOR ANDERSEN 200 SERIES.

DOOR SCHEDULE

ALL INTERIOR AND EXTERIOR DOORS TO BE SELECTED BY OWNER. VERIFY ALL SIZES WITH OWNER PRIOR TO ORDER. INTERIOR DOORS SCM.

No.	TYPE	SIZE	MATERIAL
BASEMENT/GARAGE	001	2'-10" X 6'-8"	
	002	2'-4" X 6'-8"	
	003	3'-0" X 6'-8"	FIRE-RATED/SELF LATCHING
	004	GARAGE DOOR 8'-0" X 7'-0"	INSULATED
	005	3'-0" X 6'-8"	
FIRST FLOOR	100	ENTRY 8'-0" X 9'-0"±	PROVIDE SHOP DRAWING FOR REVIEW
	101	2'-6" X 6'-8"	
	102	(2) 2'-0" X 6'-8"	
	103	2'-6" X 6'-8"	
	104	POCKET 2'-4" X 6'-8"	
	105	2'-6" X 6'-8"	
	106	BARN (2) 2'-0" X 6'-8"	
	107	2'-4" X 6'-8"	
	108	2'-4" X 6'-8"	
	109	POCKET 2'-8" X 6'-8"	
	110	(2) 2'-0" X 6'-8"	
	111	2'-6" X 6'-8"	
	112	2'-6" X 6'-8"	
	113	2'-8" X 6'-8"	
	114	2'-0" X 6'-8"	
	115	POCKET (2) 2'-0" X 6'-8"	
	116	2'-8" X 6'-8"	

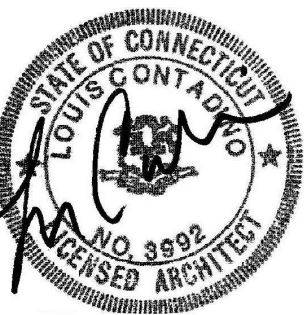
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CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

ALTERATIONS AND ADDITIONS TO THE:  
**BRUNO RESIDENCE**  
47 RIDGE STREET  
COS COB, CT 06807

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Phone (203)861-9007 Fax (203)861-6504



09-19-2023  
REV. DATE

**A4.0**

SCHEDULES



## FINISH LEGEND

VERIFY ALL COLORS/FINISHES WITH OWNER.

ITEM	DESCRIPTION	MODEL/TYPE	FINISH/COLOR	SIZE/DIM.	NOTES
<b>PAINT</b>					
P-1	FLAT LOW VOC LATEX		TBD		
P-2	EGGSHELL LOW VOC LATEX		TBD		
P-3	SEMIGLOSS LOW VOC LATEX		TBD		
SC	CONCRETE SEALER LOW VOC LATEX		CLEAR		
SP	STAIN/POLYURETHANE SEAL LOW VOC		TBD		
S	SEAL LOW VOC		TBD		
<b>CARPET</b>					
CPT-1			TBD		
<b>FLOORING</b>					
VT-1	VINYL TILE (VOC FREE)				
VT-2	VINYL FLOORING (VOC FREE)				
WB-1	WOOD BASEBOARD				
RT-1	RUBBER TILES		RAISED DOTS		
ST-1	SAFETY-STRIP RUBBER				STAIR TREAD AND RISER
LVP	LUXURY VINYL PLANK				
W-1	WOOD (4" OAK T&G)	OWNER TO SELECT	TBD		
W-2	WOOD (OAK)	OWNER TO SELECT	TBD		
<b>TILE</b>					
CT-1	FLOOR TILE (CERAMIC)		TBD		
CT-2	FLOOR TILE (CERAMIC)		TBD		
GCT-1	WALL TILE		TBD		
BS-1	BLUE STONE			VARIES	
<b>CEILING</b>					
ACT-2	TILE CEILING		WHITE		SCRUB ABLE FINISH
GB-1	GYPSUM BOARD		PAINTED		
W-2	WOOD T&G		PAINTED		
PVC	PVC T&G				VERIFY WITH OWNERS
<b>WALLS</b>					
RW-1	ROCKWOOL				
GB-1	GYPSUM BOARD		PAINTED		
W-3	WOOD BASE		PAINTED		
W-4	CROWN MOULDING		PAINTED		
PVC	PVC T&G		PAINTED		
MR-1	MOISTURE RESISTANT GYPSUM BOARD		PAINTED		
PL-1	PAPERLESS GYP. BD.		PAINTED		

\*DISREGARD ITEMS NOT APPLICABLE TO THIS PROJECT\*

NOTES:

1. PREPARE TILE SUB FLOORING AND SHOWER WALLS PER MANUFACTURING WRITTEN INSTRUCTIONS AND TCNA GUIDELINES. VERIFY WITH TILE SUB-CONTRACTOR.
2. PROVIDE WATERPROOF MEMBRANE IN SHOWER PAN PER TCNA (TILE COUNCIL OF NORTH AMERICA) GUIDELINES.
3. PROVIDE CRACK ISOLATION MEMBRANE AT TILE FLOORS, VERIFY WITH TILE MANUFACTURERS.
4. LAYOUT TILE TO MINIMIZE "SLIVERS" AT EDGES AND CORNERS. TYPICAL AT WALLS AND FLOORS.
5. ALL TRIM, MOULDINGS, DOORS, DOOR CASING, ETC TO BE PAINTED SEMI-GLOSS LOW VOC LATEX UNLESS NOTED OTHERWISE.
6. OWNER TO PROVIDE CABINET SHOP DRAWING FOR REVIEW/APPROVAL PRIOR TO FABRICATION AND PROJECT COORDINATION.
7. SCREW AND GLUE EXISTING SUBFLOOR AS REQUIRED LEVEL AND FLOOR FINISH. PROVIDE LEVEL/SMOOTH SURFACE FOR NEW FLOOR FINISH.
8. ALL NEW WALLS/PARTITIONS TO RECEIVE LEVEL 4 DRYWALL FINISH.
9. G.C. TO VERIFY EXISTING FLOOR DEFLECTION IS L/360 MIN. SCREW AND GLUE ALL NEW/EXISTING SUBFLOOR MEMBERS AS REQUIRED FOR PROPER FLOOR TILE INSTALLATION.
10. PATCH, SAND, AND REPAIR ALL PAINTED SURFACES. PAINTING CONTRACTOR TO REVIEW ALL SURFACES WITH OWNER PRIOR TO PAINTING.
11. ALL PAINTING SHALL CONFORM TO MASTER PAINTERS INSTITUTE SPECIFICATIONS LATEST EDITION.
12. PROVIDE MOULDING SAMPLES/MOCK-UP FOR REVIEW AND APPROVAL.

FINISHES:

1. FLASH PATCH AS REQUIRED BETWEEN FLOORING MATERIALS TO MAINTAIN UNIFORM LEVEL FLOOR SURFACE.
2. ALL WOOD SURFACES TO BE STAINED AND RECEIVE 3 COATS POLYURETHANE. COLOR AND FINISH TO BE DETERMINED. CONTRACTOR TO PROVIDE SAMPLES FOR REVIEW.
3. ALL GRILLES, VENTS, ACCESS DOORS, ETC TO BE PAINTED TO MATCH SURROUNDING SURFACES. VERIFY WITH OWNER OR ARCHITECT.

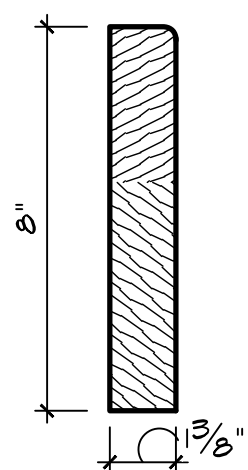
BATHROOM NOTES:

1. ALL BATHROOM FIXTURES TO BE SUPPLIED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR AND OWNER TO CONFIRM PRIOR TO PURCHASE.
2. CONTRACTOR TO COORDINATE WITH OWNER AND REFER TO MANUFACTURERS SPECIFICATIONS FOR ALL BATH FIXTURES AND ACCESSORIES FOR ALL REQUIRED INSTALLATION METHODS AND DIMENSIONS.
3. PROVIDE SAMPLE/MOCKUP OF SHOWER CURB FOR OWNERS APPROVAL PRIOR TO INSTALLATION.

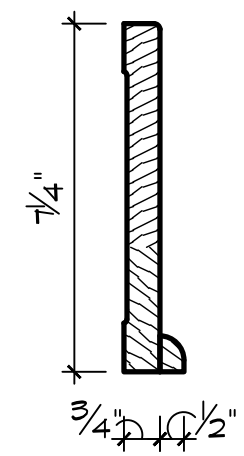
GENERAL MILLWORK NOTES:


1. ALL MILLWORK SHALL CONFORM TO THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) QUALITY STANDARD FOR CUSTOM GRADE.
2. PROVIDE SHOP DRAWINGS FOR REVIEW BEFORE FABRICATION. SHOP DRAWINGS MUST INCLUDE CABINET COMPONENTS AND RECOMMENDED ATTACHMENTS AND SUPPORTS.
3. REFER TO CABINET SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. PROVIDE DOOR SAMPLES AND HARDWARE SAMPLES FOR OWNER AND ARCHITECT REVIEW AND APPROVAL.
5. CONTRACTOR TO COORDINATE WITH MILLWORKER AND REFER TO MANUFACTURER'S EQUIPMENT AND FIXTURE SPECIFICATIONS FOR ALL REQUIRED INSTALLATION METHODS AND DIMENSIONS.
6. CONTRACTOR TO PROVIDE IN-WALL BLOCKING/SUPPORTS FOR ALL WALL HUNG CABINETS. COORDINATE WITH MILLWORK.
7. PROVIDE SCRIBES TO FLOOR, WALL AND/OR CEILING AS REQUIRED.

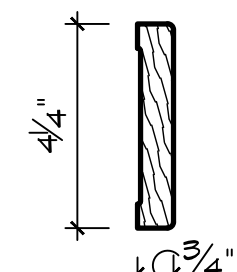
## FINISH SCHEDULE


[illegible]

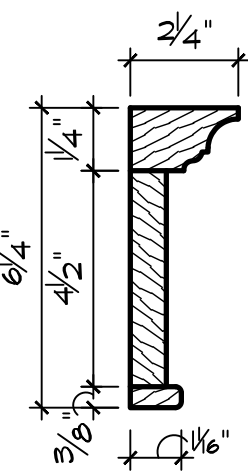
A DOOR PLINTH  
A4.1 SCALE: 3"=1'-0"




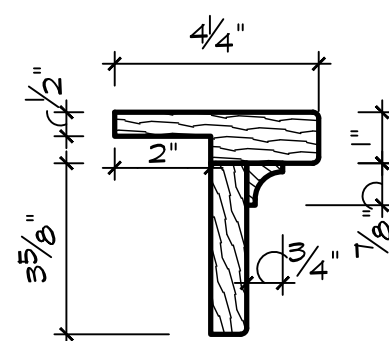

 BASE BOARD  
 SCALE: 3"=1'-0"



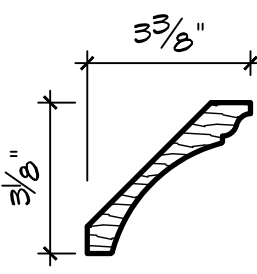

 DOOR/WINDOW CASING  
 SCALE: 3"=1'-0"




 WINDOW AND DOOR HEAD  
 SCALE: 3"=1'-0"




 WINDOW STOOL  
 SCALE: 3"=1'-0"



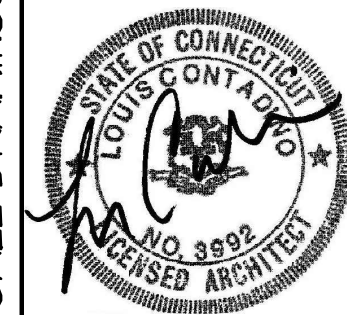
**CROWN MOLDING**  
SCALE: 3"=1'-0"

INTERIOR MOLDING DETAILS:  
BASED ON CLASSICAL CRAFTMAN COLLECTION BY WINDSORONE OR APPROVED EQUAL

ALTERATIONS AND ADDITIONS TO THE:  
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### A4.1

## SCHEDULES

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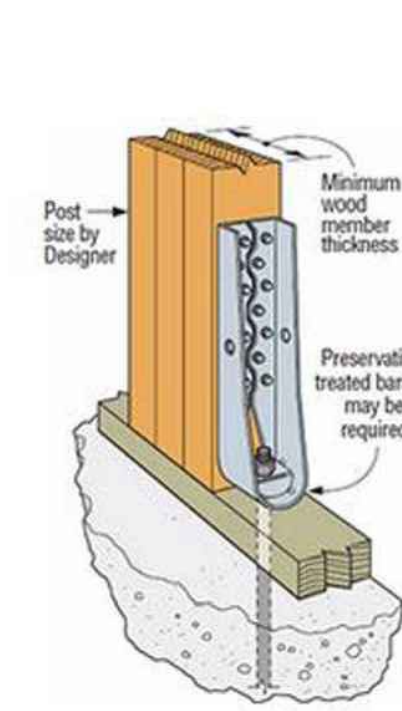
BRACING NOTES:

DESIGN: ASCE 7-10, METHOD 1;  
WIND LOADING CONNECTION REQUIREMENTS  
(ULTIMATE WIND SPEED 120 MPH 3 SECOND GUSTS)  
EXPOSURE D

- STANDARD REQUIREMENTS:
1. ROOF SHEATHING: 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES.
  2. RAFTER STRAPS AT RIDGE: SIMPSON LSTA24 AT EVERY THIRD RAFTER.
  3. RAFTER STRAPS TO FIRST FLOOR WALL PLATE: SIMPSON H2.5A AT EACH RAFTER.
  4. FIRST FLOOR WALL PLATE TO FIRST FLOOR STUD: SIMPSON H2.5A AT EACH STUD.
  5. STRAP BETWEEN HEADERS 8'-0" AND GREATER TO JACK STUD: SIMPSON H6.
  6. FIRST FLOOR STUD TO SILL PLATE: 1/2" PLYWOOD WITH 8D NAILS AT 2" ON CENTER.
  7. SILL PLATE TO FOUNDATION WALL: 1/2" DIAMETER DOUBLE ZINC COATED ANCHOR BOLTS AT 48" ON CENTER. (1'-0" MAXIMUM FROM EACH CORNER AND PLATE ENDS)
  8. EXTERIOR PLYWOOD SHEATHING: 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES. UNLESS OTHERWISE NOTED, PROVIDE 2 X 4 SOLID BLOCKING ON THE FLAT BETWEEN ALL STUDS AT ALL HORIZONTAL PLYWOOD JOINTS FOR CONTINUATION OF THE NAILING PATTERN.

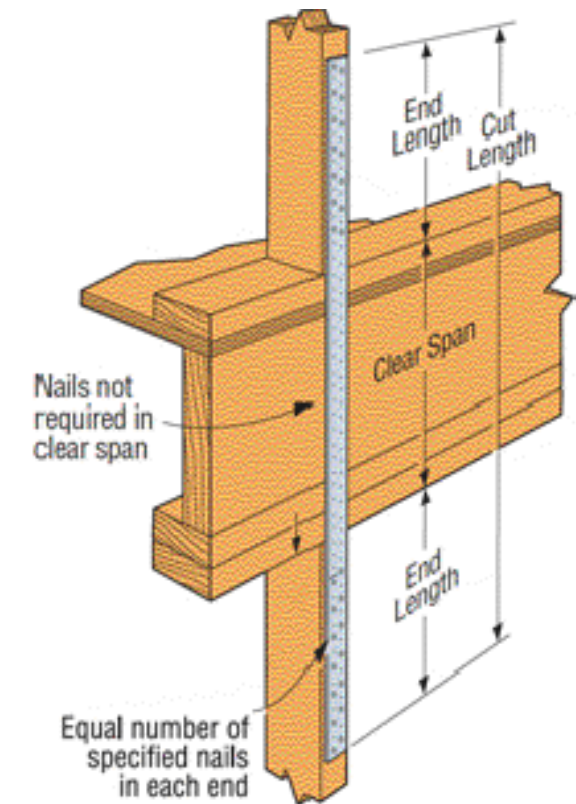
JOB SPECIFIC REQUIREMENTS:

1. SHEAR WALL # 1: (EXTERIOR LEFT SIDE WALL OF BEDROOM # 4 & LAUNDRY): 1/2" PLYWOOD WITH 8D NAILS AT 4" ON CENTER AT PANEL EDGES. SIMPSON HDUS HOLD DOWN BACK LEFT CORNER OF BEDROOM, EACH SIDE OF BEDROOM WINDOW AND NEXT TO LAUNDRY WINDOW. (4) LOCATIONS.
2. SHEAR WALL # 2: (INTERIOR SIDE WALL BETWEEN BEDROOM # 5/ POWDER ROOM & GREAT ROOM): 1/2" PLYWOOD WITH 8D NAILS AT 2" ON CENTER AT PANEL EDGES. SIMPSON HDUS HOLD DOWN FRONT AND BACK CORNER OF BEDROOM AND POWDER ROOM. (4) LOCATIONS.
3. SHEAR WALL # 3: (INTERIOR SIDE WALL BETWEEN PANTRY/ STAIR & BEDROOM # 3, CLOSET & BATH # 3): 1/2" PLYWOOD WITH 8D NAILS AT 2" ON CENTER AT PANEL EDGES. SIMPSON HDUS HOLD DOWN AT FRONT AND BACK CORNER OF PANTRY AND STAIRS. (4) LOCATIONS.
4. SHEAR WALL # 4: (EXTERIOR RIGHT-SIDE WALL OF BATH # 1 & BEDROOM # 1): 1/2" PLYWOOD WITH 8D NAILS AT 4" ON CENTER AT PANEL EDGES. SIMPSON HDUS HOLD DOWN NEXT TO BATH AND BEDROOM WINDOW. (2) LOCATIONS.
5. SHEAR WALL # 5: (EXTERIOR BACK WALL OF RESIDENCE): 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES.
6. SHEAR WALL # 6: (EXTERIOR FRONT WALL OF RESIDENCE): 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES.



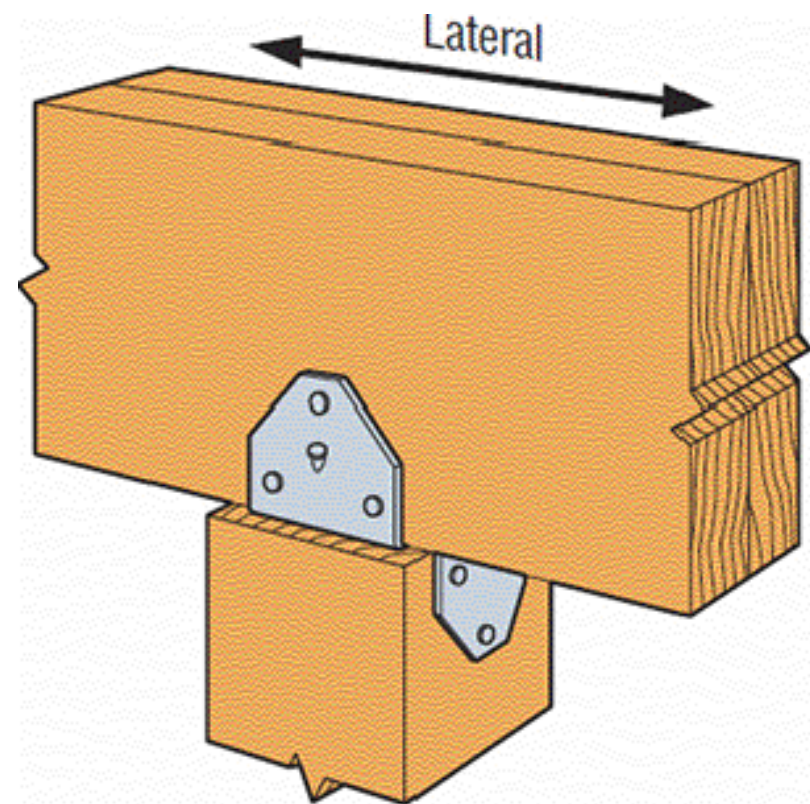
SIMPSON HDU

**A**  
**A5.0** FOUND/WALL PLATE CONNECTOR  
SCALE: N.T.S.



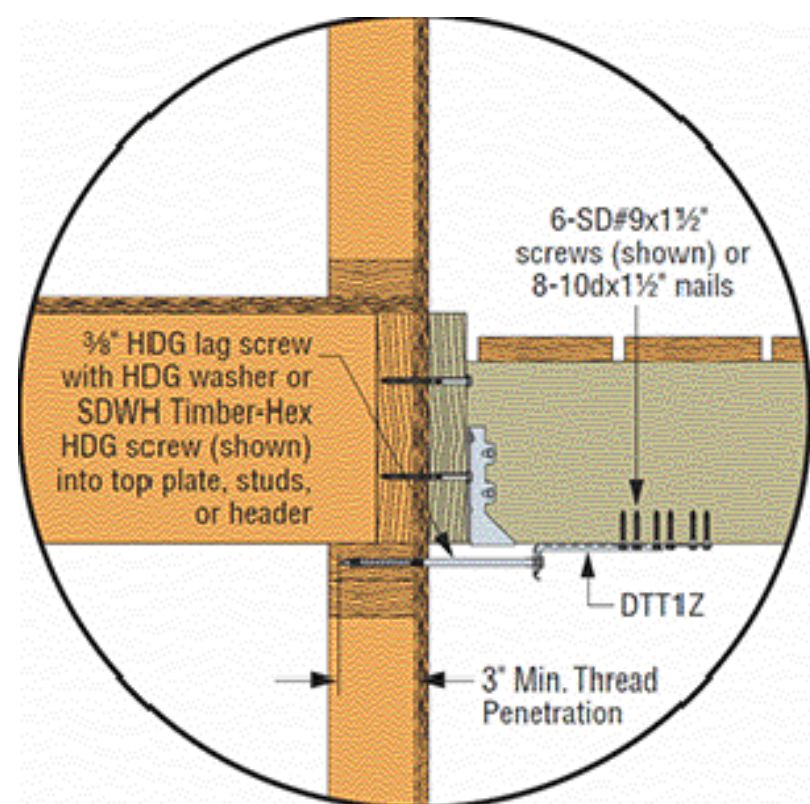
SIMPSON MSTA35 AT EVERY THIRD STUD

**E**  
**A5.0** WALL PLATE CONNECTOR  
SCALE: N.T.S.



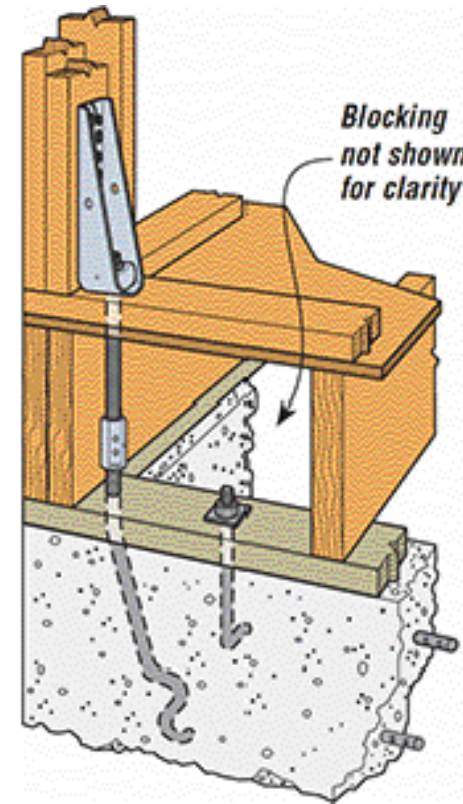
SIMPSON BCS @ EACH POST

**I**  
**A5.0** POST/CAP CONNECTOR @ DECK  
SCALE: N.T.S.



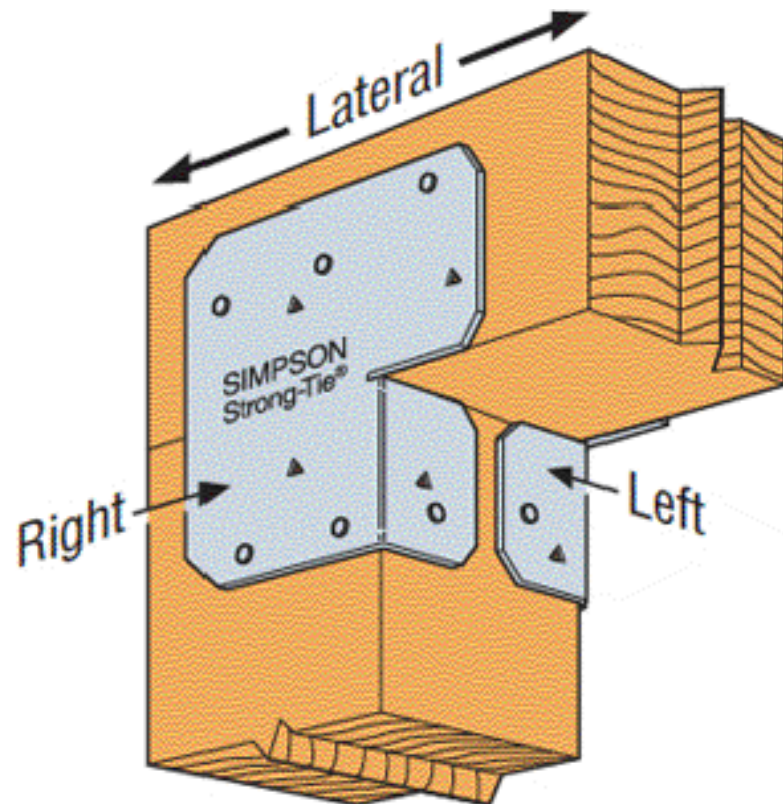
SIMPSON DTT12 @ 48" O.C.

**M**  
**A5.0** DECK-TO-HOUSE CONNECTOR  
SCALE: N.T.S.

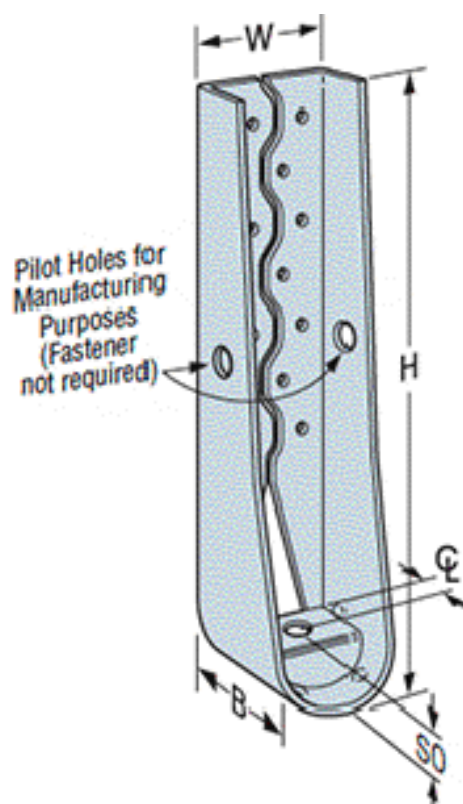


SIMPSON HD CNW COUPLER

**B**  
**A5.0** FOUND/WALL PL. CONNECTOR @ FL. FRAMIN  
SCALE: N.T.S. ALTERNATIVE.

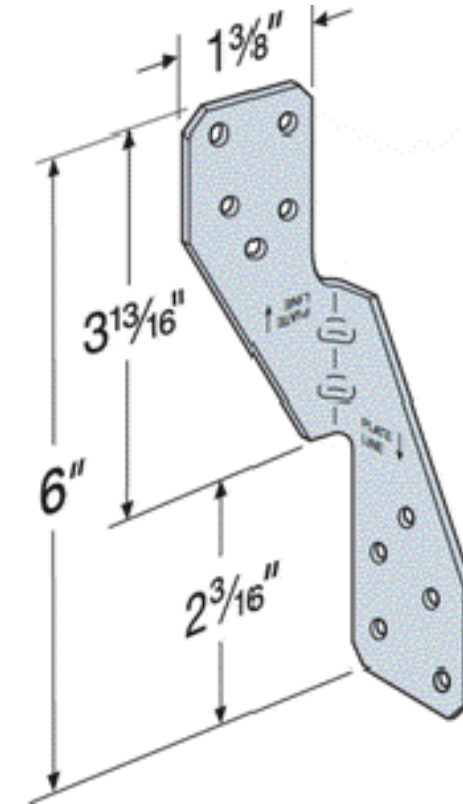


**F**  
**A5.0** POST/CAP CONNECTOR @ DECK  
SCALE: N.T.S.



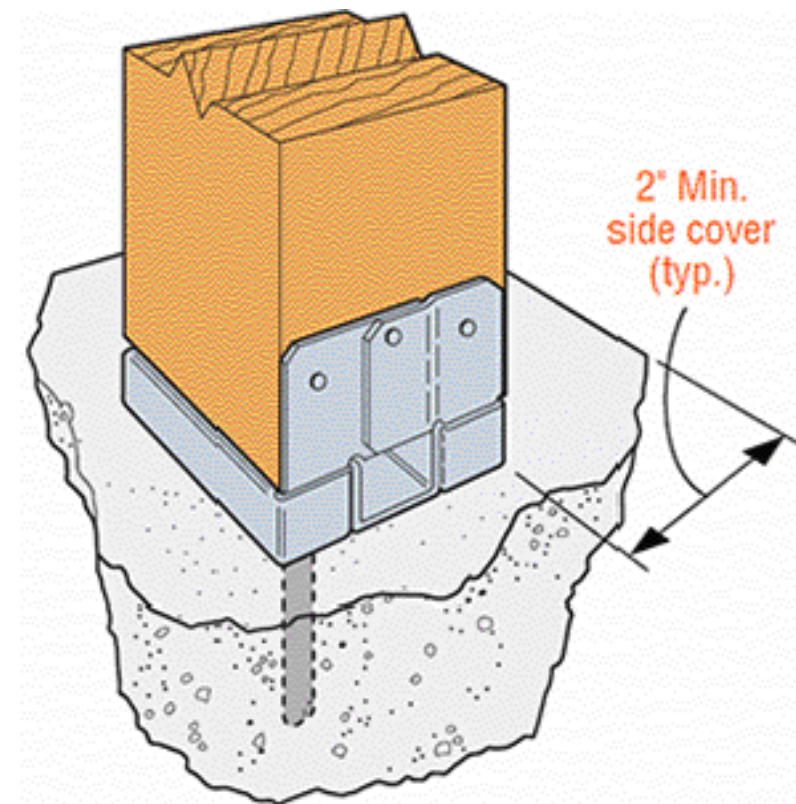
SIMPSON HDU

**J**  
**A5.0** STRAP TIE HOLDOWN  
SCALE: N.T.S.



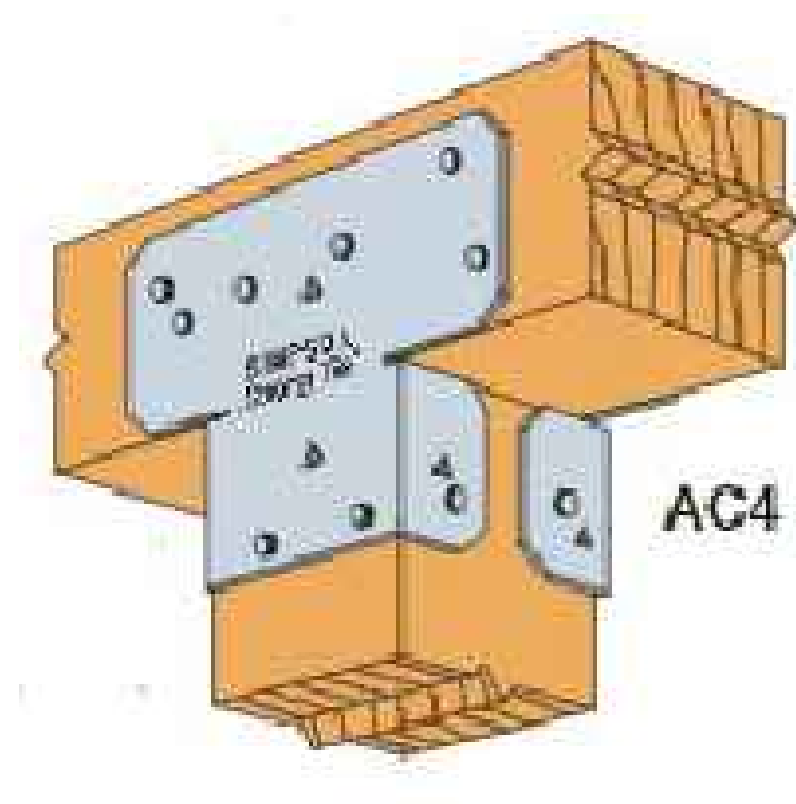
SIMPSON H2.5A @ EACH RAFTER/TRUSS

**C**  
**A5.0** RAFTER/WALL PLATE CONNECTOR  
SCALE: N.T.S.



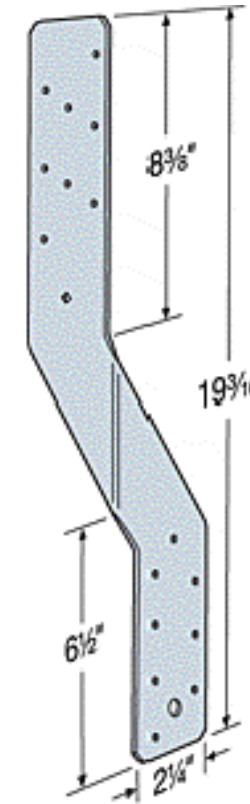
ABN46Z

**G**  
**A5.0** POST BASE CONNECTOR @ PORC.  
SCALE: N.T.S.



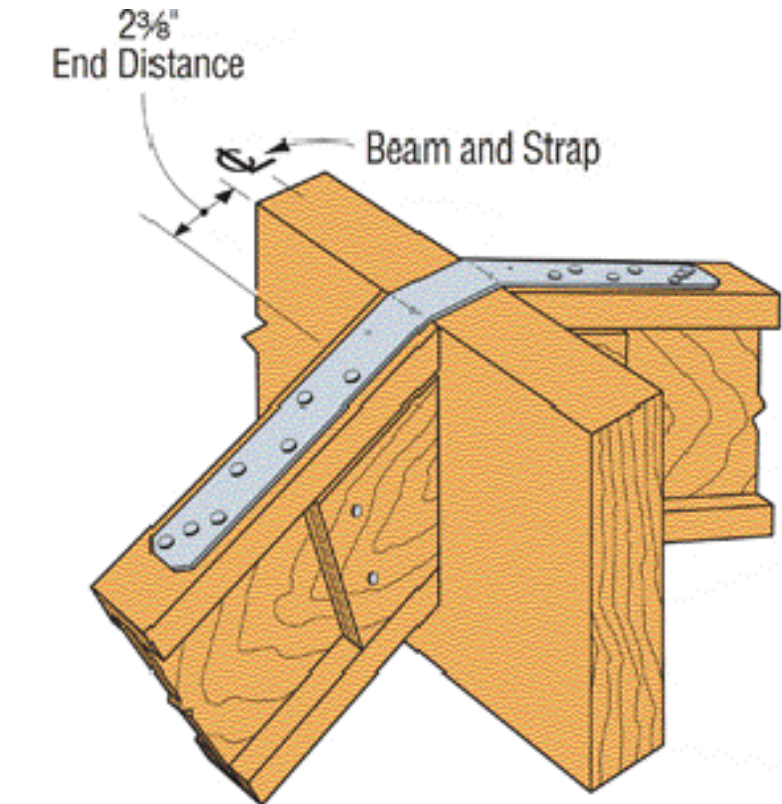
SIMPSON AC4

**K**  
**A5.0** POST CAP @ DECK  
SCALE: N.T.S.



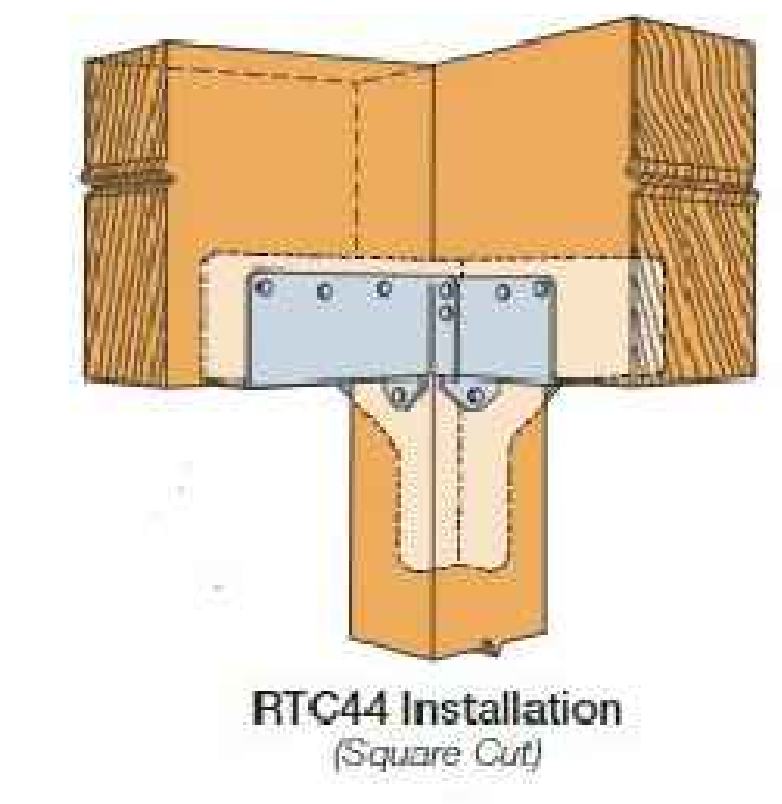
SIMPSON H6  
RAP TO HEADERS 8'-0" AND GREATER TO JACK STUD

**D**  
**A5.0** JACK STUD HEADER CONNECTOR  
SCALE: N.T.S.



SIMPSON LSTA24 @ EVERY THIRD RAFTER

**H**  
**A5.0** ROOF STRAP DETAIL  
SCALE: N.T.S.



SIMPSON RTC44

**L**  
**A5.0** POST CAP @ DECK/PLATFORM  
SCALE: N.T.S.

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09-19-2023

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**A5.0**

WALL BRACING



BRACING NOTES:

DESIGN: ASCE 7-10, METHOD 1;  
WIND LOADING CONNECTION REQUIREMENTS  
(ULTIMATE WIND SPEED 120 MPH 3 SECOND GUSTS)  
EXPOSURE D

STANDARD REQUIREMENTS:

1. ROOF SHEATHING: 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES.
2. RAFTER STRAPS AT RIDGE: SIMPSON LSTA24 AT EVERY THIRD RAFTER.
3. RAFTER STRAPS TO FIRST FLOOR WALL PLATE: SIMPSON H2.5A AT EACH RAFTER.
4. FIRST FLOOR WALL PLATE TO FIRST FLOOR STUD: SIMPSON H2.5A AT EACH STUD.
5. STRAP BETWEEN HEADERS 8'-0" AND GREATER TO JACK STUD: SIMPSON H6.
6. FIRST FLOOR STUD TO SILL PLATE: 1/2" PLYWOOD WITH 8D NAILS AT 2" ON CENTER.
7. SILL PLATE TO FOUNDATION WALL: 1/2" DIAMETER DOUBLE ZINC COATED ANCHOR BOLTS AT 48" ON CENTER. (1'-0" MAXIMUM FROM EACH CORNER AND PLATE ENDS)
8. EXTERIOR PLYWOOD SHEATHING: 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES, UNLESS OTHERWISE NOTED. PROVIDE 2 X 4 SOLID BLOCKING ON THE FLAT BETWEEN ALL STUDS AT ALL HORIZONTAL PLYWOOD JOINTS FOR CONTINUATION OF THE NAILING PATTERN.

JOB SPECIFIC REQUIREMENTS:

1. SHEAR WALL # 1: (EXTERIOR LEFT SIDE WALL OF BEDROOM # 4 & LAUNDRY): 1/2" PLYWOOD WITH 8D NAILS AT 4" ON CENTER AT PANEL EDGES. SIMPSON HDU5 HOLD DOWN BACK LEFT CORNER OF BEDROOM, EACH SIDE OF BEDROOM WINDOW AND NEXT TO LAUNDRY WINDOW. (4) LOCATIONS.
2. SHEAR WALL # 2: (INTERIOR SIDE WALL BETWEEN BEDROOM # 5/ POWDER ROOM & GREAT ROOM): 1/2" PLYWOOD WITH 8D NAILS AT 2" ON CENTER AT PANEL EDGES. SIMPSON HDU5 HOLD DOWN FRONT AND BACK CORNER OF BEDROOM AND POWDER ROOM. (4) LOCATIONS.
3. SHEAR WALL # 3: (INTERIOR SIDE WALL BETWEEN PANTRY/ STAIR & BEDROOM # 3, CLOSET & BATH # 3): 1/2" PLYWOOD WITH 8D NAILS AT 2" ON CENTER AT PANEL EDGES. SIMPSON HDU5 HOLD DOWN AT FRONT AND BACK CORNER OF PANTRY AND STAIRS. (4) LOCATIONS.
4. SHEAR WALL # 4: (EXTERIOR RIGHT-SIDE WALL OF BATH # 1 & BEDROOM # 1): 1/2" PLYWOOD WITH 8D NAILS AT 4" ON CENTER AT PANEL EDGES. SIMPSON HDU5 HOLD DOWN NEXT TO BATH AND BEDROOM WINDOW. (2) LOCATIONS.
5. SHEAR WALL # 5: (EXTERIOR BACK WALL OF RESIDENCE): 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES.
6. SHEAR WALL # 6: (EXTERIOR FRONT WALL OF RESIDENCE): 1/2" PLYWOOD WITH 8D NAILS AT 6" ON CENTER AT PANEL EDGES.

Legend

	Subject	Quantity	Unit
◆	Hardware - Simpson HDU5	7	Count
◆	Hardware - Simpson HDU5 for W8x24	11	Count
✓	Hardware - Simpson RTC44	2	Count

ALTERATIONS AND ADDITIONS TO THE  
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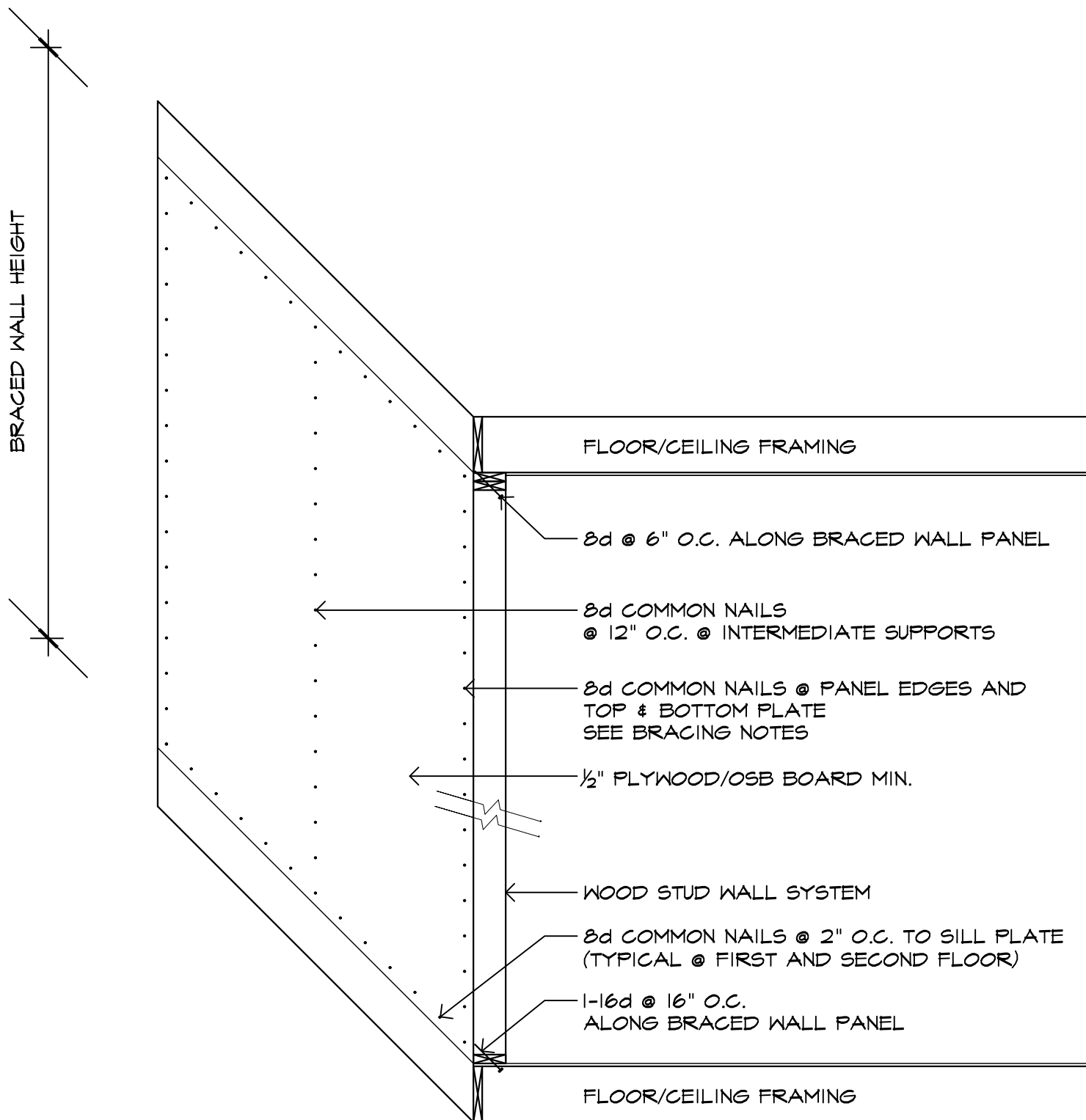


09-19-2023

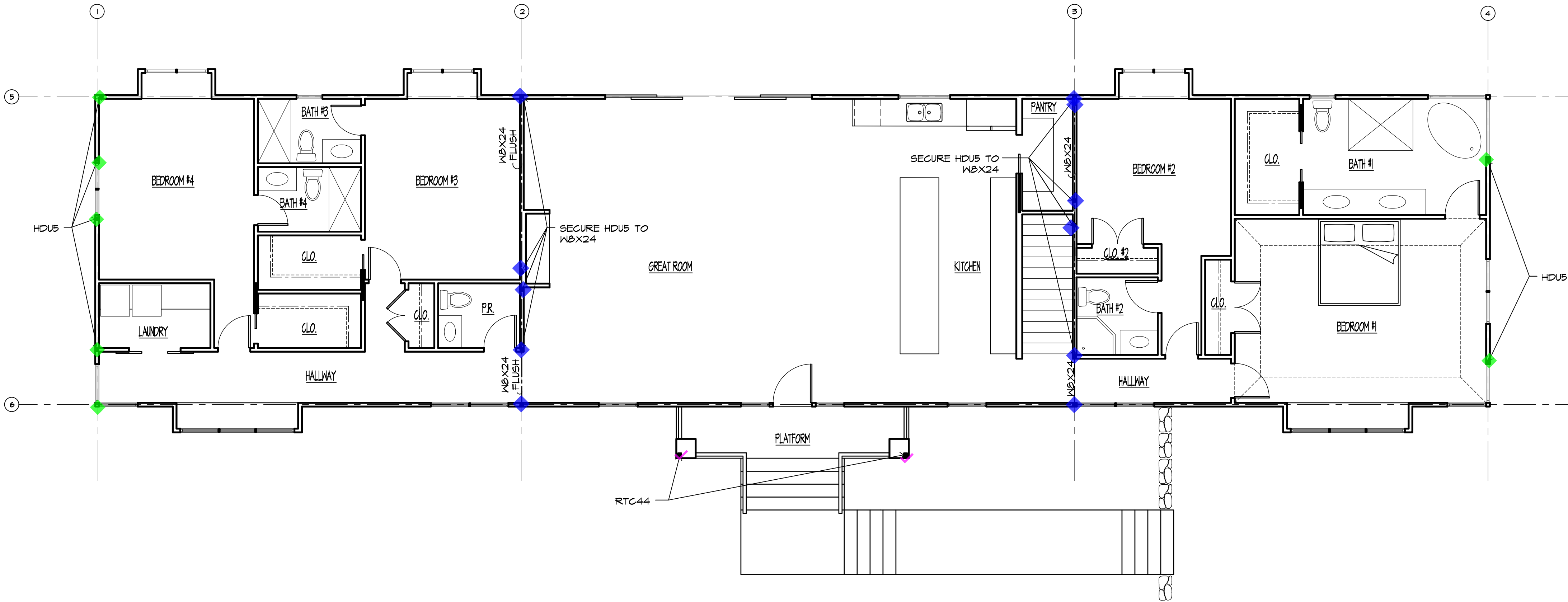
REV. DATE

A5.1

WALL BRACING



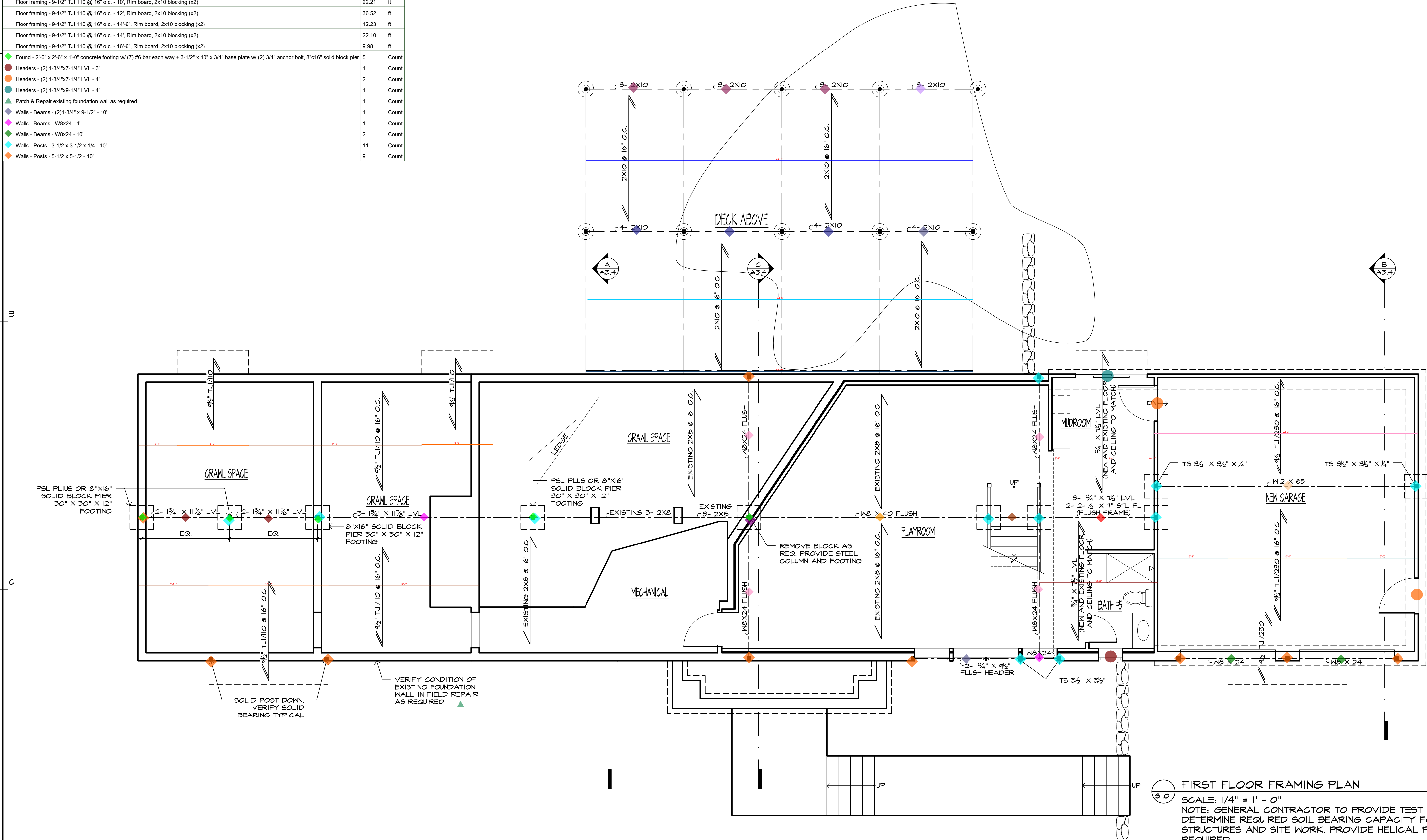
A  
A5.1 BRACED WALL PANEL DETAIL  
SCALE: N.T.S.



A5.1 WALL BRACING PLAN  
SCALE: 3/16" = 1' - 0"

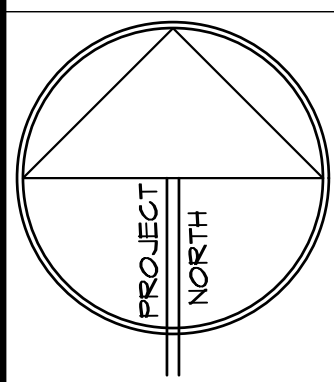


Legend			
Subject	Quantity	Unit	
Deck framing - (3)2x10 beam - 8'	1	Count	
Deck framing - (3)2x10 beam - 10'	3	Count	
Deck framing - (4)2x10 beam - 8'	1	Count	
Deck framing - (4)2x10 beam - 10'	3	Count	
Deck framing - 2x10 @ 16" o.c. - 12', 2x10 blocking (x2, (Hangers x2)	32.58	ft	
Deck framing - 2x10 @ 16" o.c. - 12', 2x10 blocking, (Hangers x2)	32.43	ft	
Deck framing - 2x10 ledger	32.58	ft	
Demo - Remove blocks, Walls - Steel column - 10'	1	Count	
FF framing - Beams - (2)1-3/4"x11-7/8" LVL - 8'	2	Count	
FF framing - Beams - (3)1-3/4"x7-1/2" LVL - 10', (2)2-1/2"x7" steel plate - 10'	1	Count	
FF framing - Beams - (3)1-3/4"x11-7/8" LVL - 18'	1	Count	
FF framing - Beams - W8x24 - 12'	4	Count	
FF framing - Beams - W8x40 - 5'	1	Count	
FF framing - Beams - W8x40 - 20'	1	Count	
FF framing - Beams - W12x65 - 22'	1	Count	
Floor framing - 1-3/4" x 7-1/2" LVL @ 16" o.c. - 12', Rim board, 2x8 blocking (x2)	13.91	ft	
Floor framing - 1-3/4" x 7-1/2" LVL @ 16" o.c. - 14', Rim board, 2x8 blocking (x2)	6.05	ft	
Floor framing - 9-1/2" TJI 110 @ 16" o.c. - 10', Rim board, 2x10 blocking (x2)	22.21	ft	
Floor framing - 9-1/2" TJI 110 @ 16" o.c. - 12', Rim board, 2x10 blocking (x2)	36.52	ft	
Floor framing - 9-1/2" TJI 110 @ 16" o.c. - 14'-6", Rim board, 2x10 blocking (x2)	12.23	ft	
Floor framing - 9-1/2" TJI 110 @ 16" o.c. - 14', Rim board, 2x10 blocking (x2)	22.10	ft	
Floor framing - 9-1/2" TJI 110 @ 16" o.c. - 16'-6", Rim board, 2x10 blocking (x2)	9.98	ft	
Found - 2'-6" x 2'-6" x 1'-0" concrete footing w/ (7) #6 bar each way + 3-1/2" x 10" x 3/4" base plate w/ (2) 3/4" anchor bolt, 8" c16" solid block pier	5	Count	
Headers - (2) 1-3/4"x7-1/4" LVL - 3'	1	Count	
Headers - (2) 1-3/4"x7-1/4" LVL - 4'	2	Count	
Headers - (2) 1-3/4"x9-1/4" LVL - 4'	1	Count	
Patch & Repair existing foundation wall as required	1	Count	
Walls - Beams - (2)1-3/4" x 9-1/2" - 10'	1	Count	
Walls - Beams - W8x24 - 4'	1	Count	
Walls - Beams - W8x24 - 10'	2	Count	
Walls - Posts - 3-1/2 x 3-1/2 x 1/4 - 10'	11	Count	
Walls - Posts - 5-1/2 x 5-1/2 - 10'	9	Count	



STRUCTURAL NOTES FOR HEADERS:  
OPENING UP TO 3' IN BEARING WALL: (2) 1 3/4" x 7 1/4" LVL  
OPENING UP TO 6' IN BEARING WALL: (2) 1 3/4" x 9 1/2" LVL  
OPENING UP TO 9' IN BEARING WALL: (2) 1 3/4" x 11 7/8" LVL  
OPENING UP TO 14' IN BEARING WALL: (2) 1 3/4" x 14" LVL  
  
ALL NEW HEADERS IN EXTERIOR WALL TO BE INSULATED U.O.N. SEE DETAIL F/A3.2

LEGEND	
	BEARING WALL
■	POST DOWN TO FLOOR OR SLAB
■	POST UP/ABOVE
↔	SPAN DIRECTION
DH	DROPPED HEADER
FF	FLUSH HEADER
PT	PRESSURE TREATED
*ALL EXTERIOR WALL POST DOWN TO BE 3 1/2"x5 1/2" U.O.N.	
*ALL INTERIOR WALL POST DOWN TO BE 3 1/2"x3 1/2" U.O.N.	
*DOUBLE JOIST UNDER ALL NONBEARING PARTITION WALLS	
*ALL EXTERIOR WALLS BEARING	



ALTERATIONS AND ADDITIONS TO THE:  
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09-19-2023  
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PLANS

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FIRST FLOOR FRAMING PLAN

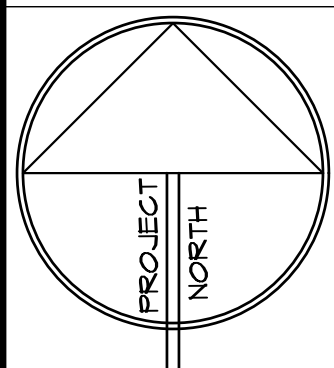
SCALE: 1/4" = 1' - 0"  
NOTE: GENERAL CONTRACTOR TO PROVIDE TEST BORINGS TO DETERMINE REQUIRED SOIL BEARING CAPACITY FOR ALL NEW STRUCTURES AND SITE WORK. PROVIDE HELICAL FILES AS REQUIRED.



Legend		
Subject	Quantity	Unit
Attic framing - Beams - (2)1-3/4"x9-1/2" LVL - 6'	3	Count
Attic framing - Beams - (2)1-3/4"x9-1/2" LVL - 18', 5/8"x9" steel plate	1	Count
Attic framing - Beams - (2)1-3/4"x11-7/8" LVL - 8'	1	Count
Attic framing - Beams - (2)1-3/4"x11-7/8" LVL - 10'	2	Count
Attic framing - Beams - 6-3/4"x30 Glulam - 40'	1	Count
Ceiling framing - 2x10 joists @ 16" o.c - 1', tracks	50.84	ft
Ceiling framing - 2x10 joists @ 16" o.c - 3'-3"	38.00	ft
Ceiling framing - 2x10 joists @ 16" o.c - 24'	107.73	ft
Headers - (2) 1-3/4"x7-1/4" LVL - 3'	2	Count
Headers - (2) 1-3/4"x7-1/4" LVL - 4'	18	Count
Headers - (2) 1-3/4"x9-1/4" LVL - 5'	9	Count
Headers - (2) 1-3/4"x9-1/4" LVL - 6'	4	Count
Headers - (2) 1-3/4"x9-1/4" LVL - 8'	2	Count
Headers - (2) 1-3/4"x11-7/8" LVL - 10'	4	Count
Roof framing - 2x10 joists - 4', Rim joist, blocking, ledger	18.75	ft
Roof framing - beams - (2)2x10 beam - 4'	2	Count
Roof framing - beams - (2)2x10 curved beam - 20'	1	Count
Roof framing - posts - 6x6 PSL - 10'	2	Count
Roof framing - Posts - 5-1/4 x 5-1/4 PSL - 8'	4	Count
Roof framing - Ridge Beams - (3)1-3/4"x14" LVL	14.53	ft

STRUCTURAL NOTES FOR HEADERS:  
OPENING UP TO 3' IN BEARING WALL: (2) 1 3/4" X 7 1/4" LVL  
OPENING UP TO 6' IN BEARING WALL: (2) 1 3/4" X 9 1/2" LVL  
OPENING UP TO 9' IN BEARING WALL: (2) 1 3/4" X 11 7/8" LVL  
OPENING UP TO 14' IN BEARING WALL: (2) 1 3/4" X 14" LVL  
  
ALL NEW HEADERS IN EXTERIOR WALL TO BE INSULATED  
U.O.N. SEE DETAIL F/A3.2

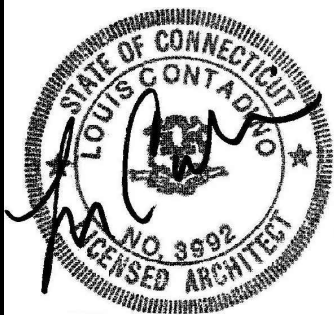
LEGEND	
	BEARING WALL
■	POST DOWN TO FLOOR OR SLAB
■	POST UP/ABOVE
↔	SPAN DIRECTION
DH	DROPPED HEADER
FF	FLUSH HEADER
PT	PRESSURE TREATED
*ALL EXTERIOR WALL POST DOWN TO BE 3 1/2"X3 1/2" U.O.N.	
*ALL INTERIOR WALL POST DOWN TO BE 3 1/2"X3 1/2" U.O.N.	
*DOUBLE JOIST UNDER ALL NONBEARING PARTITION WALLS	
*ALL EXTERIOR WALLS BEARING	



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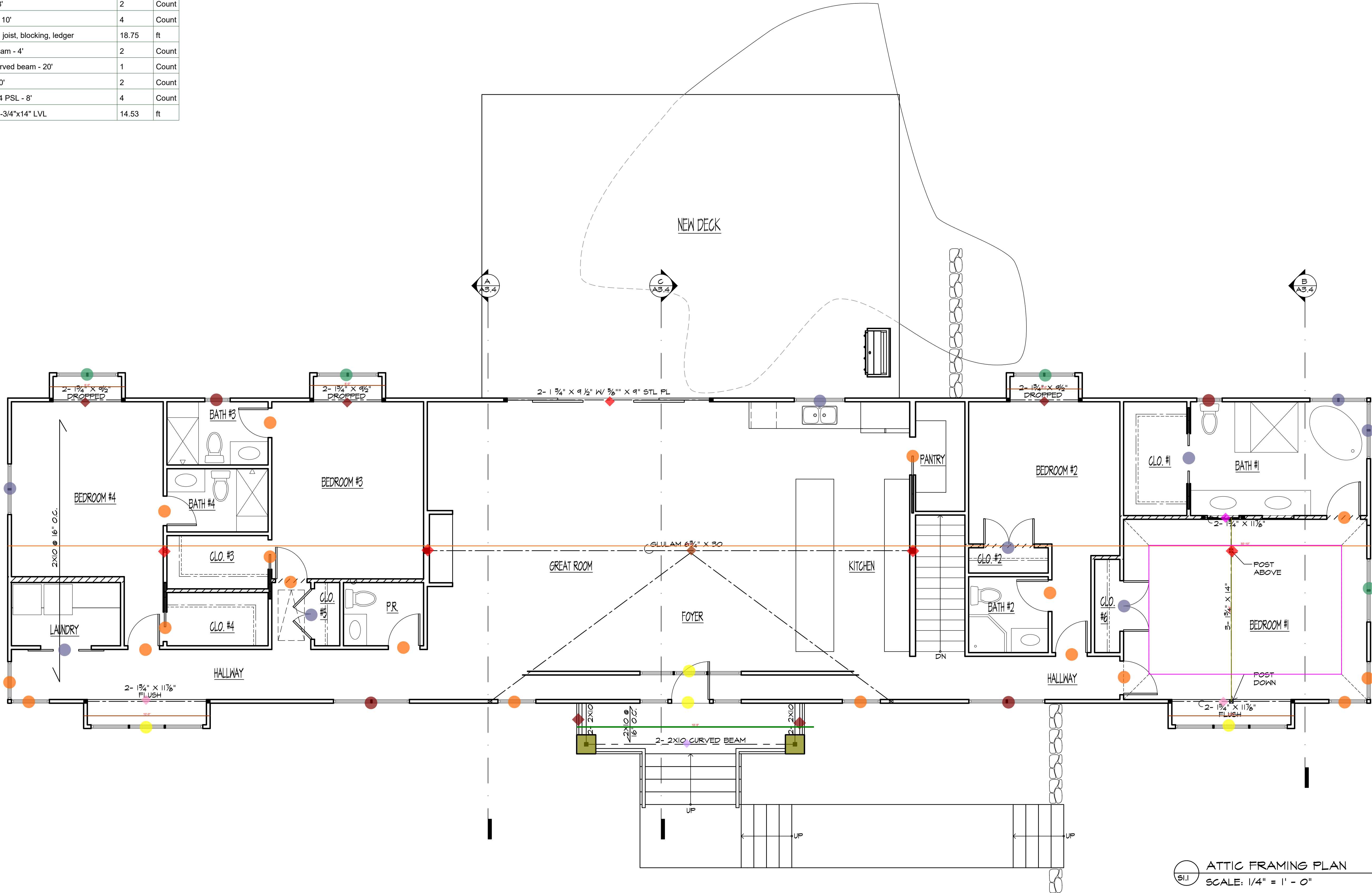
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ATTIC FRAMING PLAN  
SCALE: 1/4" = 1' - 0"

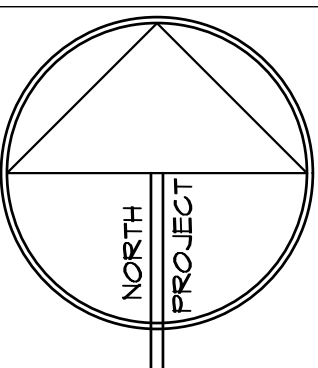




Legend			
	Subject	Quantity	Unit
	Roof framing - (2)1-3/4"x11-7/8"	31.10	ft
	Roof framing - (2)1-3/4"x24"	59.32	ft
	Roof framing - 1-3/4"x11-7/8"	14.54	ft
	Roof framing - 2x6 joist @ 16" o.c - 2'-2"L	20.00	ft
	Roof framing - 2x8 rafters @ 16" o.c - 3'-9"L, Rim joist, blocking	24.00	ft
	Roof framing - 2x10 blocking	275.69	ft
	Roof framing - 2x10 sub fascia	221.72	ft
	Roof framing - Beam - (2)1-3/4"x24" - 20'	1	Count
	Roof framing - Beam - (3) 2x12 - 20', 2-1/2"x11" steel plate	4	Count
	Roof framing - Hip beam - (2)1-3/4"x11-7/8" - 7'	6	Count
	Roof framing - Hip beam - (2)1-3/4"x11-7/8" - 24'	2	Count
	Roof framing - Ledger - 2x12 (x1.25)	63.62	ft
	Roof framing - Valley beam - (2)2x12 - 24', 3/4"X11" steel plate	4	Count

STRUCTURAL NOTES FOR HEADERS:  
OPENING UP TO 3' IN BEARING WALL: (2) 1 3/4" X 7 1/4" LVL  
OPENING UP TO 6' IN BEARING WALL: (2) 1 3/4" X 9 1/2" LVL  
OPENING UP TO 9' IN BEARING WALL: (2) 1 3/4" X 11 7/8" LVL  
OPENING UP TO 14' IN BEARING WALL: (2) 1 3/4" X 14" LVL  
  
ALL NEW HEADERS IN EXTERIOR WALL TO BE INSULATED  
U.O.N. SEE DETAIL F/A3.2

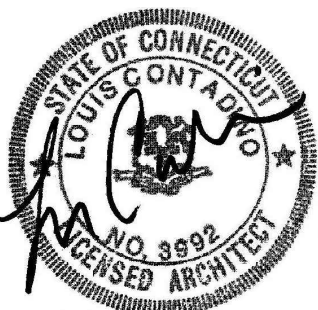
LEGEND	
	BEARING WALL
	POST DOWN TO FLOOR OR SLAB
	POST UP/ABOVE
	SPAN DIRECTION
DH	DROPPED HEADER
FF	FLUSH HEADER
PT	PRESSURE TREATED
*ALL EXTERIOR WALL POST DOWN TO BE 5 1/2"X5 1/2" U.O.N.	
*ALL INTERIOR WALL POST DOWN TO BE 3 1/2"X3 1/2" U.O.N.	
*DOUBLE JOIST UNDER ALL NONBEARING PARTITION WALLS	
*ALL EXTERIOR WALLS BEARING	



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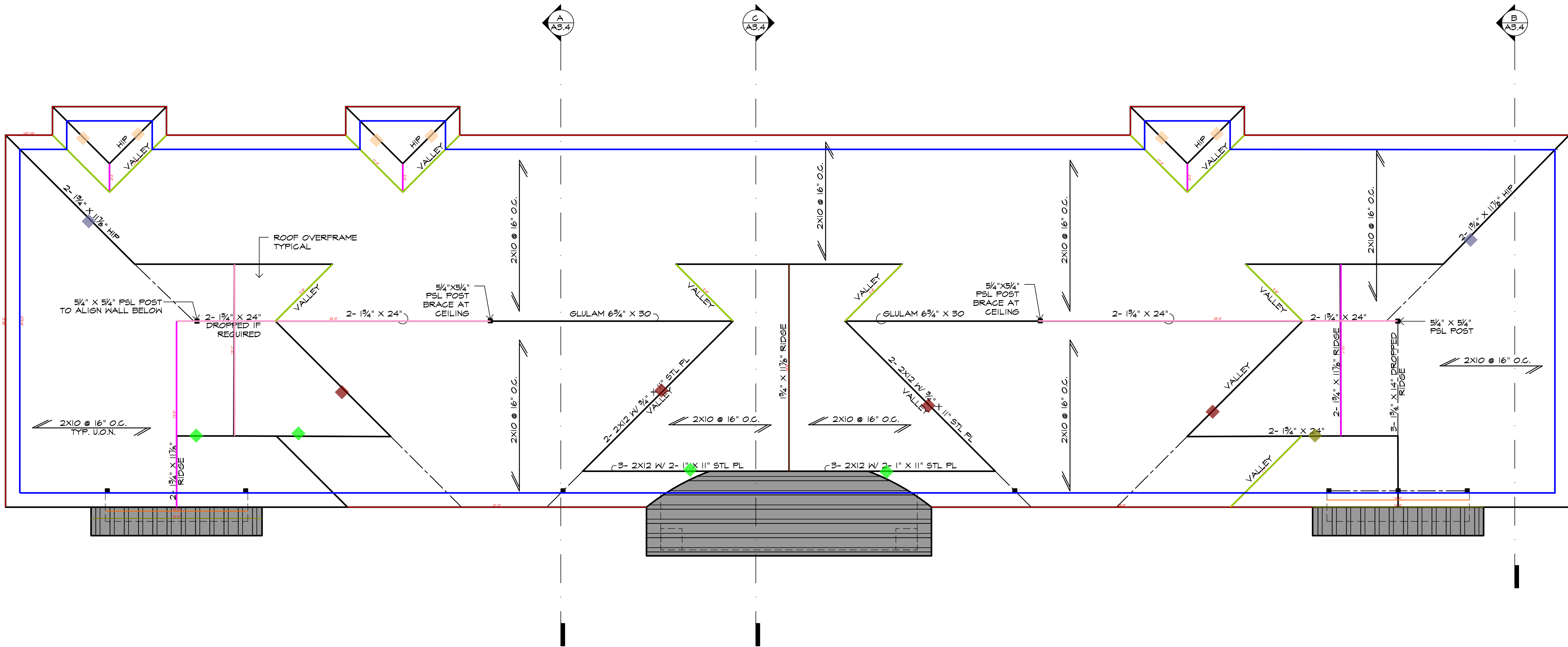


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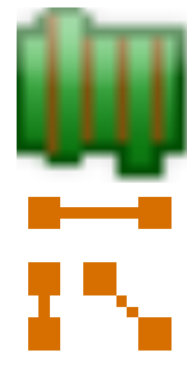
PLANS



ROOF FRAMING PLAN  
SCALE: 1/4" = 1' - 0"

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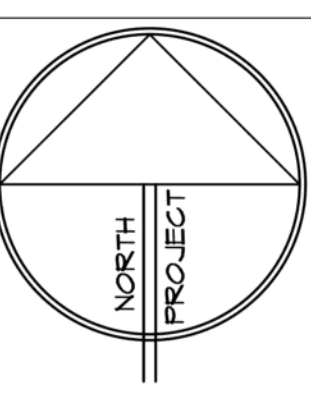


Roof framing - 2x10 rafters  
Roof framing - 2x10 rafters

3408.9 SQ FT  
2670.4 FT

STRUCTURAL NOTES FOR HEADERS:  
UP TO 3' IN BEARING WALL: (2) 1 3/4" X 7 1/4" LVL  
UP TO 6' IN BEARING WALL: (2) 1 3/4" X 9 1/2" LVL  
UP TO 9' IN BEARING WALL: (2) 1 3/4" X 11 7/8" LVL  
UP TO 14' IN BEARING WALL: (2) 1 3/4" X 14" LVL  
HEADERS IN EXTERIOR WALL TO BE INSULATED  
DETAIL F/A3.2

LEGEND	
ZZZZ	BEARING WALL
■	POST DOWN TO FLOOR OR SLAB
■	POST UP/ABOVE
↔	SPAN DIRECTION
DH	DROPPED HEADER
FF	FLUSH HEADER
PT	PRESSURE TREATED
*ALL EXTERIOR WALL POST DOWN TO BE 5 1/2" X 5 1/2" U.O.N.	
*ALL INTERIOR WALL POST DOWN TO BE 3 1/2" X 3 1/2" U.O.N.	
*DOUBLE JOIST UNDER ALL NONBEARING PARTITION WALLS	
*ALL EXTERIOR WALLS BEARING	



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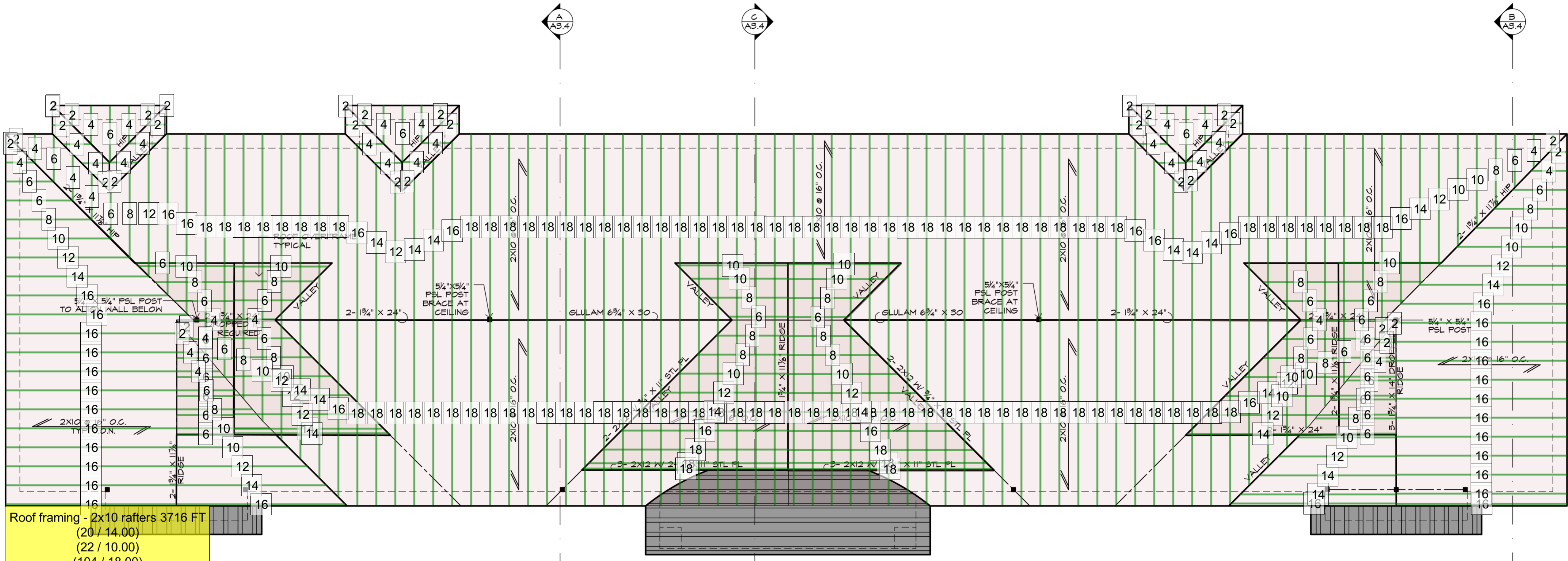
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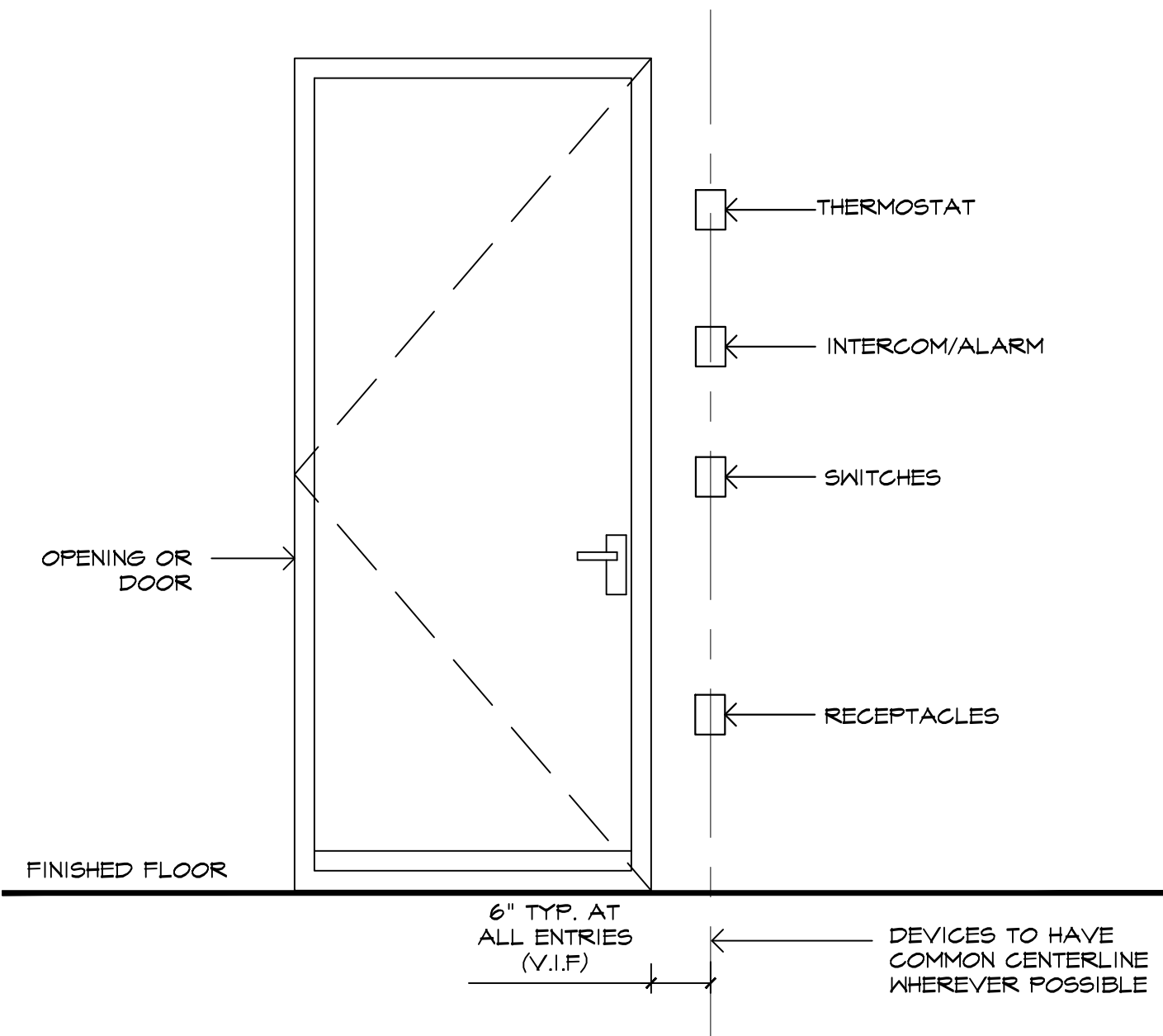
Roof framing - 2x10 rafters 3716 FT  
(20 / 14.00)  
(22 / 10.00)  
(104 / 18.00)  
(38 / 16.00)  
(36 / 6.00)  
(20 / 8.00)  
(14 / 12.00)

ROOF FRAMING PLAN  
SCALE: 1/4" = 1' - 0"

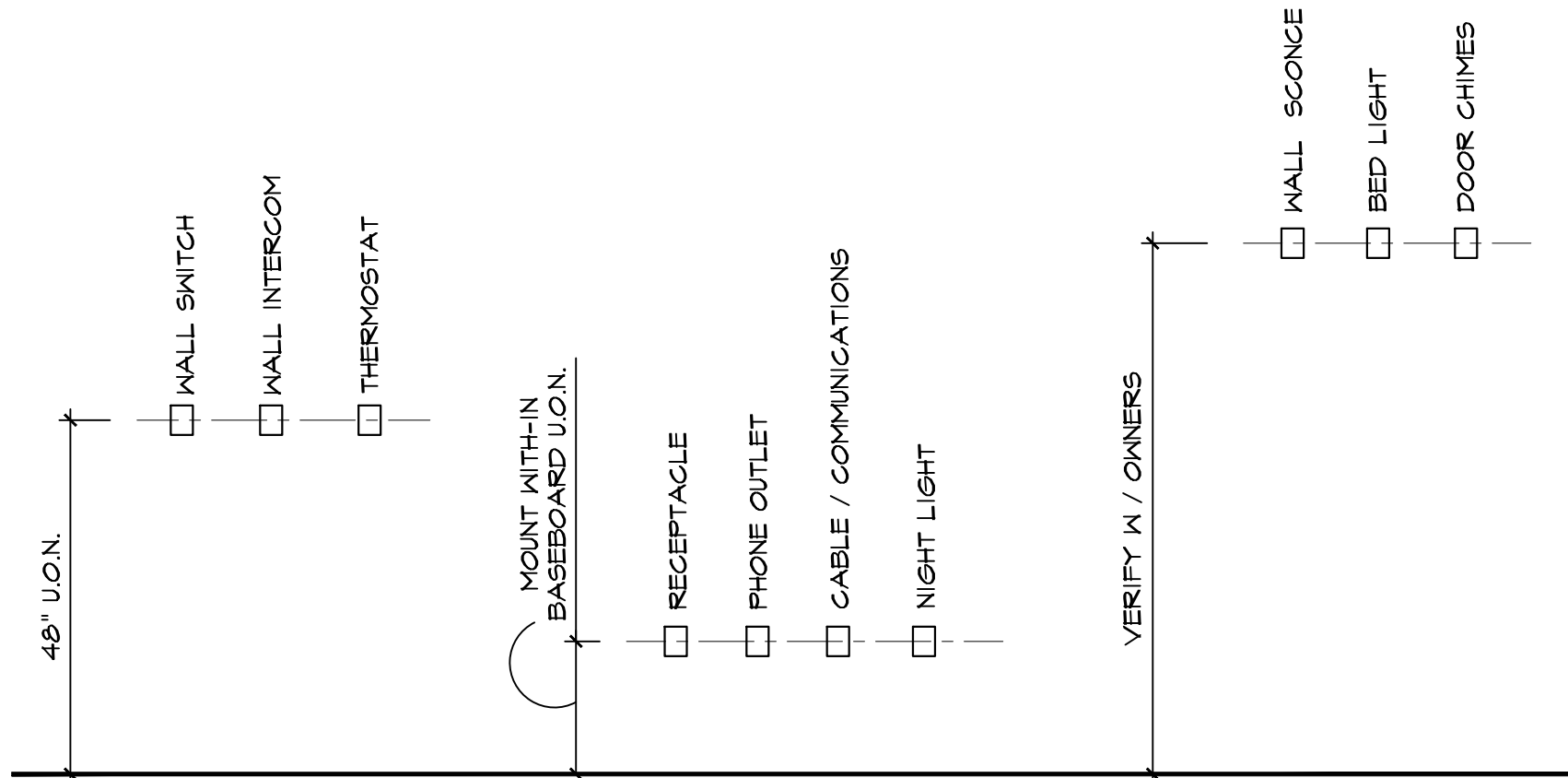
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CEILING NOTES	LIGHTING NOTES	ELECTRICAL NOTES	LEGEND
<div>1. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS. VERIFY IN FIELD.</div> <div>2. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S LOCATION &amp; ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.</div> <div>3. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ANY AND ALL OTHER APPLICABLE ITEMS. INSTALL APPLICABLE NEW PLUMBING, MECHANICAL FANS, DUCTS, CONDUITS, AND OTHER RELATED AND APPURTENANT ITEMS SO AS TO NOT CONFLICT WITH LUMINAIRES AND ANY AND ALL FIELD CONDITIONS.</div> <div>4. WHERE A SERIES OF LIGHTS ARE BEING INSTALLED, FIXTURES ARE TO BE INSTALLED EQUAL DISTANCE APART ON CENTER.</div>	<div>1. ELECTRICAL CONTRACTOR (E.C.) TO OBSERVE ALL NATIONAL AND LOCAL ELECTRICAL CODES; ALL CODE COMPLIANCE ISSUES SHALL BE RESOLVED PRIOR TO PURCHASING EQUIP.</div> <div>2. ALL SWITCHES, DIMMERS AND THERMOSTATS SHALL BE LOCATED VERTICALLY 48" ABOVE FINISHED FLOOR TO CENTER OF SWITCH AND 6" AWAY FROM HAND SET SIDE OF DOOR UNLESS OTHERWISE NOTED; MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH ONE COVER PLATE U.O.N. ALL SWITCH AND RECEPTACLE FACE PLATES STYLES AND COLORS ARE TO BE DETERMINED BY OWNER.</div> <div>3. ALL RECEPTACLE LOCATIONS ARE 'AS PER CODE' EXCEPT AS SHOWN.</div> <div>4. ALL DIMENSIONS ARE TO THE CENTERLINE OF A FIXTURE U.O.N. ALL FIXTURES TO BE CENTERED IN THE DIMENSIONS OF A.C.T. UNLESS NOTED OTHERWISE.</div> <div>5. FURNISH AND INSTALL UNDERWRITERS LABORATORIES INC. (UL) LABELED DEVICES THROUGHOUT.</div> <div>6. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, FIXTURE LAMPS, AND BRACING AS REQUIRED; LIGHT FIXTURES SHALL BE PROTECTED WITH FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, AND THE LIKE TO AVOID FIXTURE SOILING OR DAMAGE. E.C. AND PAINTERS TO CLEAN FINGER PRINTS OFF OF ALL ALZAK REFLECTORS IMMEDIATELY. FINGERPRINTS LEFT ON FOR EVEN SHORT PERIODS OF TIME WILL BECOME PERMANENTLY ETCHED IN THE FINISH. EXISTING FIXTURES SHALL BE MAINTAINED, CLEANED AND AS NEW; LAMPS SHALL BE NEW AT PROJECT COMPLETION; FURNISHED BY G.C., LAMP COLOR AS SPECIFIED BY LIGHTING MANUAL.</div> <div>7. ALL HOUSINGS AND CONTROLS ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.</div> <div>8. LOCATION OF ALL REMOTE BALLASTS, TRANSFORMERS OR DRIVERS TO BE DETERMINED IN FIELD, U.O.N.; E.C. TO CONSULT VOLTAGE DROP CHART BEFORE DETERMINING DISTANCE FOR REMOTE DEVICES; E.C. TO CONSULT OWNER FOR FINAL APPROVAL OF LOCATION.</div> <div>9. WHEN INDIRECT LIGHTING IS SPECIFIED (COVE, UPLIGHT, SCONCES, ETC.), CEILING MUST BE MATTE OR EGGSHELL FINISH TO AVOID REFLECTIONS OF LAMPS IN FINISH. INSIDE OF COVES AND LIGHT BOXES TO BE MATTE WHITE FINISH FOR MAXIMUM LIGHT OUTPUT; UNLESS NOTED OTHERWISE.</div> <div>10. SURFACES OF ALL COVES AND MILLWORK WITH INTEGRAL LIGHTING TO BE MATTE FINISH. GLOSS FINISHES WILL RESULT IN REFLECTIONS OF LIGHT SOURCE.</div> <div>11. ALL LINEAR LIGHT FIXTURES IN MILLWORK, COVES OR UNDER CABINET TO BE FIELD MEASURED BY E.C. PRIOR TO PURCHASE. E.C. TO CONSULT CABINET MAKER ON ALL MILLWORK RELATED POWER FEEDS AND INSTALLATION DETAILS.</div> <div>12. FIXTURE / BALLAST / LAMP ASSEMBLIES HAVE BEEN SELECTED TO COMPLY WITH RECOMMENDED LIGHT LEVELS AND ENERGY CODES; ANY SUBSTITUTIONS NEED TO MEET CRITERIA.</div> <div>13. ALL SWITCH AND OUTLET COVERS TO BE LUTRON CLARO STYLE SCREWLESS FACEPLATES OR APPROVED EQUAL.</div>	<div>1. G. CONTRACTOR TO PROVIDE WALK-THRU W/OWNERS PRIOR TO ROUGHING.</div> <div>2. ALL NEW ELECTRICAL OUTLETS/SWITCHES PER LOCAL CODE.</div> <div>3. PROVIDE SMOKE/CARBON MONOXIDE DETECTORS PER CODE.</div> <div>4. G. CONTRACTOR TO PROVIDE PER FIXTURE ALLOWANCE FOR THE FOLLOWING:<div>A. PROVIDE &amp; INSTALL ONE SWITCH</div><div>B. PROVIDE &amp; INSTALL ONE OUTLET RECEPTACLE</div><div>C. PROVIDE &amp; INSTALL ONE JUNCTION BOX</div><div>D. PROVIDE &amp; INSTALL ONE RECESSED LIGHT FIXTURE 3" WHITE BAFFLE WITH 18W LAMP.</div></div> <div>5. PROVIDE WIRELESS DEVICES CONNECTION FOR COMPUTER AS REQ.</div> <div>6. ALL LIGHT FIXTURES BULBS AND SWITCHES SHALL BE DIMMABLE UNLESS OTHERWISE NOTED.</div> <div>7. ALL DIMMER SWITCHES LUTRON CLARO OR APPROVED EQUAL.</div> <div>8. ALL BEDROOM OUTLETS TO BE ½ SWITCHED.</div> <div>9. ALL SWITCH LOCATION AND CONFIGURATION SHALL BE DETERMINED IN FIELD BY OWNER W/CONTRACTOR PRIOR TO ROUGHING.</div> <div>10. ALL LIGHT FIXTURE LOCATIONS, SHALL BE DETERMINED BY OWNER W/ CONTRACTOR PRIOR TO ROUGHING.</div> <div>11. ALL LIGHT SWITCHES LUTRON CLARO OR APPROVED EQUAL.</div> <div>12. ALL WALL RECEPTACLES LUTRON CLARO OR APPROVED EQUAL.</div> <div>13. COLOR AND FINISH TO BE SELECTED BY OWNER.</div> <div>14. OWNER TO PURCHASE ALL DECORATIVE FIXTURES. CONTRACTOR TO COORDINATE SELECTION AND INCLUDE IN PRICE QUOTE INSTALLATION OF ALL FIXTURES.</div> <div>15. ALL RECESSED LIGHT FIXTURES PROVIDE 2700-3000K LED LAMPS MAXIMUM. ALL FIXTURES TO BE ENERGY STAR RATED.</div> <div>16. PROVIDE SAMPLES FOR OWNERS REVIEW/APPROVAL.</div> <div>17. WHERE MORE THAN ONE SWITCH DEVICE (ROCKER, DIMMER, OR KNOB TYPES INCLUDED) IS TO BE LOCATED ON THE SAME WALL, GENERAL PROXIMITY AND ELEVATION, THESE DEVICES SHALL BE GANGED INTO THE SAME COVER PLATE.</div> <div>18. ALL COSETS, STORAGE ROOMS AND FOOD PANTRIES PROVIDE JAMB ACTIVATED LIGHT SWITCH.</div> <div>19. PROVIDE OUTLET AT BEDROOM #1 TOILET.</div> <div>20. PROVIDE POWER UNDER ALL VANITIES FOR POSSIBLE LED LIGHTING.</div> <div>21. PROVIDE LIGHT SWITCH WITH INDICATOR LIGHT FOR HEAT CABLES, ATTIC AND CRAWL SPACE IF APPLICABLE.</div> <div>22. PROVIDE POWER FOR WINDOW TREATMENT AS MAYBE REQUIRED. VERIFY WITH OWNERS.</div> <div>23. PROVIDE POWER TO MEDICINE CABINETS. VERIFY WITH OWNERS.</div> <div>24. ALL ELECTRICAL OUTLETS TYPE AND LOCATIONS TO BE COORDINATED WITH CABINET MAKER, ELECTRICAL CONTRACTOR, KITCHEN DESIGNER AND CONTRACTOR/OWNER.</div> <div>25. ELECTRICAL CONTRACTOR AND KITCHEN DESIGNER/CABINET MAKER TO PROVIDE AND COORDINATE KITCHEN ISLAND WORK SURFACE:<div>1) ONE RECEPTACLE FOR FIRST 4 SQ. FT.</div><div>2) ONE RECEPTACLE FOR EACH ADDITIONAL 18 SQ. FT.</div></div> <div>26. PROVIDE 240 VOLT DEDICATED OUTLET FOR EV CHARGING IN GARAGE.</div>	<div>(SD) SMOKE DETECTOR/CARBON MONOXIDE COMBINATION HARDWIRED</div> <div>●A 4" DOWNLIGHT 10 WATTS LED WHITE REFLECTOR DIMMABLE</div> <div>●G WHITE REFLECTOR DIMMABLE DAMP/WET LOCATION RAFTED</div> <div>●B 4" DOWNLIGHT 10 WATTS LED ADJUSTABLE ANGLE WITH WHITE REFLECTOR DIMMABLE</div> <div>⌋ WALL MOUNT SWING ARM</div> <div>⊕FI DUPLEX WALL OUTLET W/ GROUND FAULT INTERRUPTER</div> <div>⊕F FLOOR OUTLET</div> <div>⌋ WAC TWIN HEAD OUTDOOR FLOOD LED LIGHTING (ENDURANCE)</div> <div>⊕ PENDANT / SURFACE MOUNTED FIXTURE</div> <div>▱ LED SURFACE LIGHT</div> <div>⊕ EXHAUST FAN FANTECH OR EQUAL</div> <div>⊕ WALL MOUNT LIGHT FIXTURE</div> <div>⊕ RECESSED 6" - 14 WATT DIMMABLE SWIVEL GIMBAL TRIM</div> <div>⊕DX SURFACE MOUNTED LIGHT FIXTURE</div> <div>⌋TV CABLE/SATELITE TV CONNECTION</div> <div>●C WATER PROOF SOFFIT 3000K LIGHT</div> <div>⊕D IN GRADE FLOOD LIGHT 3000K</div> <div>⌋ LED STRIP LIGHTS DIMMABLE W/ DIFFUSER</div> <div>⊕ LAMPHOLDER WITH 10 WATT LED</div> <div>⊗ GARAGE DOOR OPENER</div>
EXTERIOR LIGHTING NOTES			
<div>1. ALL EXTERIOR LIGHTING SHALL BE EITHER 'FULLY SHIELDED' OR FITTED WITH OPAQUE HOOD, SHIELDS, LOUVERS OR SHADES AND OTHERWISE ENSURE THAT ALL LIGHT GENERATED BY THE LIGHT SOURCE IS DIRECTED DOWNWARD AND NOT OUTWARD HORIZONTALLY AND SO FITTED THAT NO PORTION OF THE LIGHT SOURCE IS VISIBLE WHEN THE LIGHT FIXTURE IS VIEWED FROM THE PROPERTY LINE.</div> <div>2. NO OUTDOOR FIXTURES SHALL BE OPERATED BY A 'DUSK TO DAWN' TIMER OR SENSOR UNLESS MOTION ACTIVATED. MOTION SENSOR LIGHT FIXTURES SHALL BE OPERABLE TO SHUT OFF AFTER 10 MINUTES AND SHALL NOT BE TRIGGERED BY ACTIVITY LOCATED OFF THE PROPERTY.</div> <div>3. ALL EXTERIOR FIXTURES COLOR FINISH TO BE DETERMINED BY OWNERS.</div> <div>4. ALL EXTERIOR FIXTURES TO BE RATED FOR EXTERIOR USE.</div> <div>5. EXTERIOR OUTLETS: PROVIDE WATERPROOF OUTLET WITH LOW PROFILE TAYMAC BRAND OR APPROVED EQUAL. AT EACH DOOR WAY, VERIFY EXACT LOCATION WITH OWNERS.</div> <div>6. ALL OUTDOOR LIGHTING; LANDSCAPE, DRIVE WAY, WALKWAYS, PARKING AREAS TO BE PROVIDED BY OWNERS, G.C. TO COORDINATE.</div> <div>7. ALL EXTERIOR LIGHT CONTROLS SHALL PERMIT AUTOMATIC SHUT-OFF ACTION WHEN DAYLIGHT IS PRESENT AND SATISFIES REQUIRED LIGHTING NEEDS.</div>			



**A**  
E1.0  
**TYP. ELECTRICAL ELEVATION**  
SCALE: N.T.S.  
NOTE:  
1) COORDINATE WITH WALL FRAMING AS REQUIRED. RELOCATE STUD IF APPLICABLE.



**B**  
E1.0  
**TYP. ELECTRICAL DEVICE MOUNTING HEIGHTS**  
SCALE: 1/2" = 1'-0"  
NOTE:  
1) MOUNTING HEIGHTS TO CENTERLINE OF DEVICE TO FINISH FLOOR.  
2) ALL DEVICES INSTALLED IN COMMON VERTICAL CENTERLINE WHENEVER POSSIBLE.  
3) ALL OUTLETS IN BASEMENT MOUNT @ 18" A.F.F.

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

ISSUED FOR PERMIT 09-19-2023

ALTERATIONS AND ADDITIONS TO THE:  
**BRUNO RESIDENCE**  
47 RIDGE STREET  
COS COB, CT 06807

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Phone (203)861-9007 Fax (203)861-6504



	09-19-2023
REV.	DATE
<b>E1.0</b>	
ELECTRICAL	



0 1 2 3 4 5 6

A

B

C

D

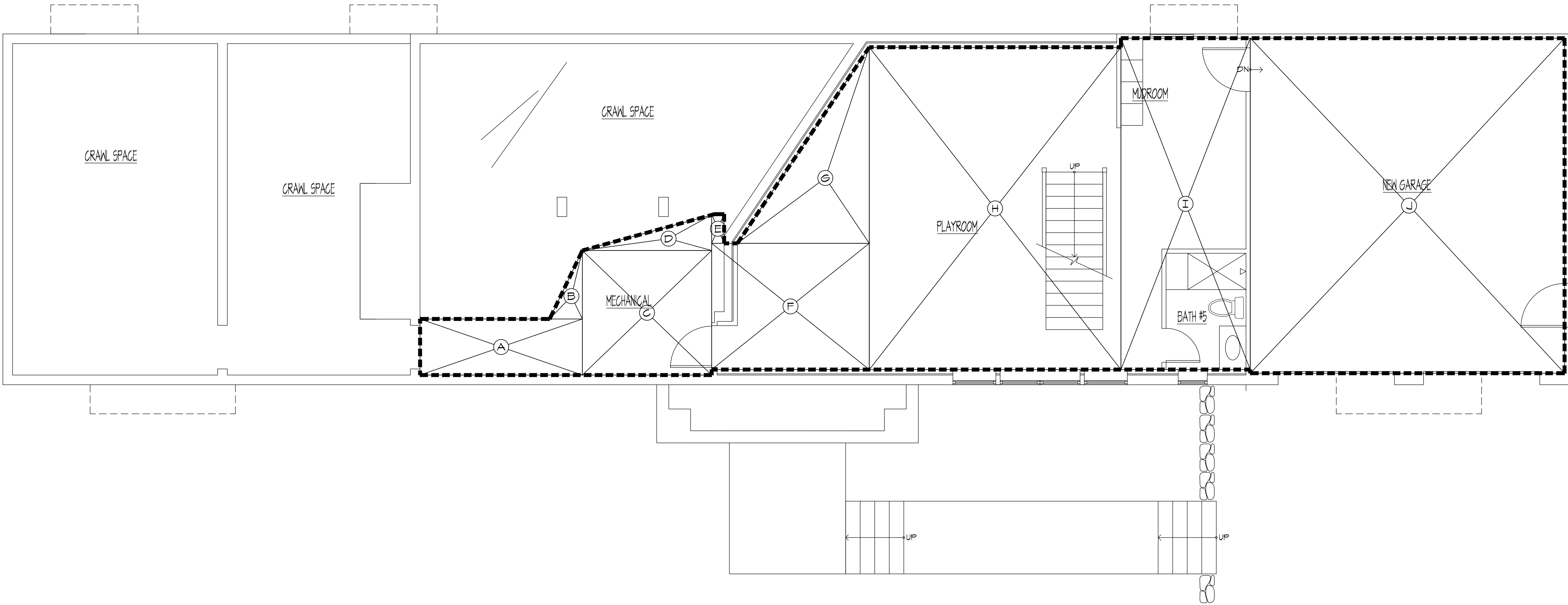
FAR: BASEMENT			
ID	DIMENSIONS	S.F.	
A	11'-2" X 3'-10 1/4"	43.0	S.F.
B	(2'-3" X 4'-8 1/2")/2	5.3	S.F.
C	8'-10 3/4" X 8'-6 3/4"	76.2	S.F.
D	(2'-5 5/8" X 8'-10 3/4")/2	10.9	S.F.
E	10 1/4" X 2'-0 1/16"	1.7	S.F.
F	10'-10 1/8" X 8'-8 3/16"	94.1	S.F.
G	9'-0 7/8" X 13'-5 13/16"	61.2	S.F.
H	17'-3 3/4" X 22'-2"	383.7	S.F.
I	8'-10 3/4" X 22'-9 1/2"	202.8	S.F.
J	21'-7 1/2" X 23'-0 1/2"	498.3	S.F.
TOTAL		1,377.2	S.F.

FAR: FIRST FLOOR			
ID	DIMENSIONS	S.F.	
K	5'-5" X 2'-0"	10.8	S.F.
L	5'-5" X 2'-0"	10.8	S.F.
M	5'-5" X 2'-0"	10.8	S.F.
N	107'-1 13/16" X 23'-6 1/2"	2,522.5	S.F.
O	9'-5" X 2'-0"	18.8	S.F.
P	9'-5" X 2'-0"	18.8	S.F.
TOTAL		2,592.5	S.F.

FAR TOTALS			
ID			
BASEMENT	SUBTOTAL	1,377.2	S.F.
1ST FLR	SUBTOTAL	2,592.5	S.F.
2ND FLR	SUBTOTAL	N/A	S.F.
ATTIC	SUBTOTAL	**	S.F.
SHEDS	SUBTOTAL	188.6	S.F.
TOTAL		4,169.0	S.F.

ZONING FAR CALCULATION SQUARE FT OF BUILDING AREA			
	EXISTING SPACE	NEW SPACE	TOTAL OF EXISTING + NEW
BASEMENT	1,091.5	285.7	1,377.2
1ST FLR	1,430.8	1,161.7	2,592.5
2ND FLR	-	-	-
ATTIC	**	**	**
SHEDS	188.6	-	188.6
ACTUAL TOTAL BUILDING AREA			4,158.3 S.F.
PERMITTED FAR			0.315
TOTAL AREA OF PROPERTY (TAP)			14,678 S.F.
MAX. PERMITTED BUILDING AREA			4,623.57 S.F.

\*ATTIC SPACE IS LESS THAN 40% OF SECOND FLOOR

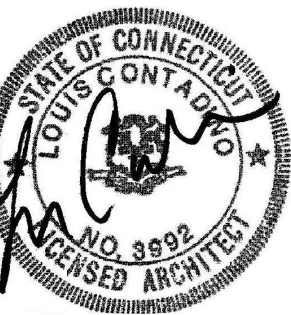


**BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

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COS COB, CT 06807

**Contadino Architects AIA**  
436 East Putnam Ave. Cos Cob, CT 06807  
Phone (203)861-9007 Fax (203)861-6504



REV. DATE

**FAR-1**

FAR

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

09-19-2023



0 1 2 3 4 5 6

A

B

C

D

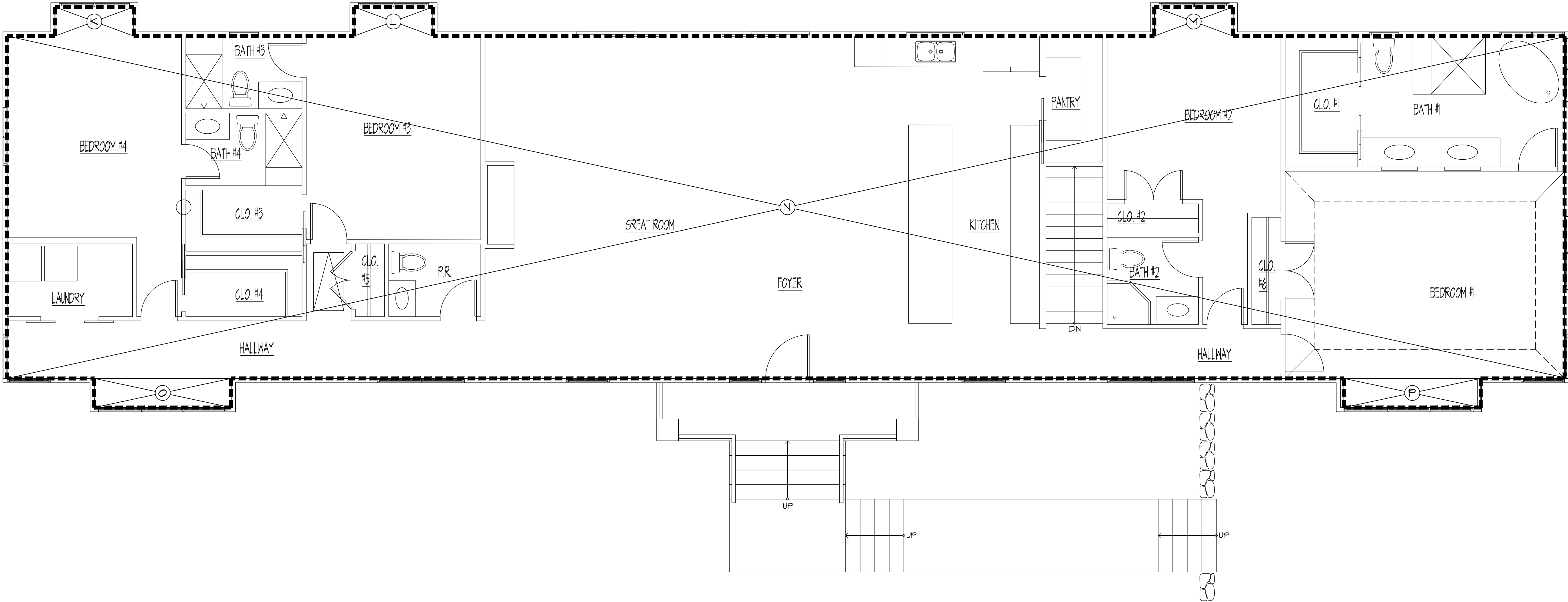
FAR: BASEMENT			
ID	DIMENSIONS	S.F.	
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B	(2'-3" X 4'-8 1/2")/2	5.3	S.F.
C	8'-10 3/4" X 8'-6 3/4"	76.2	S.F.
D	(2'-5 5/8" X 8'-10 3/4")/2	10.9	S.F.
E	10 1/4" X 2'-0 1/16"	1.7	S.F.
F	10'-10 1/8" X 8'-8 3/16"	94.1	S.F.
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H	17'-3 3/4" X 22'-2"	383.7	S.F.
I	8'-10 3/4" X 22'-9 1/2"	202.8	S.F.
J	21'-7 1/2" X 23'-0 1/2"	498.3	S.F.
TOTAL		1,377.2	S.F.

FAR: FIRST FLOOR			
ID	DIMENSIONS	S.F.	
K	5'-5" X 2'-0"	10.8	S.F.
L	5'-5" X 2'-0"	10.8	S.F.
M	5'-5" X 2'-0"	10.8	S.F.
N	107'-1 13/16" X 23'-6 1/2"	2,522.5	S.F.
O	9'-5" X 2'-0"	18.8	S.F.
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FAR TOTALS			
ID			
BASEMENT	SUBTOTAL	1,377.2	S.F.
1ST FLR	SUBTOTAL	2,592.5	S.F.
2ND FLR	SUBTOTAL	N/A	S.F.
ATTIC	SUBTOTAL	**	S.F.
SHEDS	SUBTOTAL	188.6	S.F.
TOTAL		4,169.0	S.F.

ZONING FAR CALCULATION SQUARE FT OF BUILDING AREA			
	EXISTING SPACE	NEW SPACE	TOTAL OF EXISTING + NEW
BASEMENT	1,091.5	285.7	1,377.2
1ST FLR	1,430.8	1,161.7	2,592.5
2ND FLR	-	-	-
ATTIC	**	**	**
SHEDS	188.6	-	188.6
ACTUAL TOTAL BUILDING AREA			4,158.3 S.F.
PERMITTED FAR R-12			0.315
TOTAL AREA OF PROPERTY (TAP)			14,678 S.F.
MAX. PERMITTED BUILDING AREA			4,623.57 S.F.

\*ATTIC SPACE IS LESS THAN 40% OF SECOND FLOOR



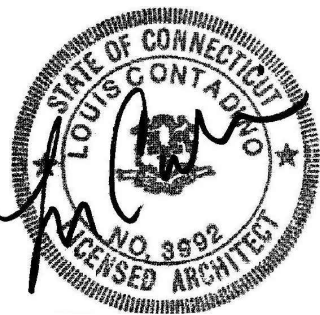
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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09-19-2023

REV. DATE

**FAR-2**

FAR

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PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT  
IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.







GENERAL REQUIREMENTS & SPECIFICATIONS

DIVISION 7 - INSULATION

7.1.0 INSULATION: ALL INSULATING MATERIALS SHALL BE AS MANUFACTURED BY OWENS-CORNING, ICYNENE OR APPROVED EQUAL, TO MEET OR EXCEED THE SPECIFIED "R" VALUES FOR THE MATERIALS SPECIFIED. INSULATION SHALL CONFORM TO THE BUILDING ENVELOPE REQUIREMENTS OF CONNECTICUT ENERGY CONSERVATION CODE.

7.1.1 CLOSED-CELL SPRAY FOAM INSULATION: FURNISH AND INSTALL INSULATION IN EXTERIOR FRAMED WALLS, ROOFS AND FLOORS OR WHERE INDICATED. INSULATION @R4 VALUE SHALL BE AS INDICATED ON THE DRAWINGS.

7.1.2 SOUND BATT INSULATION; PROVIDE FULL INSULATION IN ALL INTERIOR WALLS AND FLOORS.

DIVISION 8 - DOORS, WINDOWS, GLASS AND HARDWARE.

8.1 INTERIOR DOORS: INTERIOR DOORS SHALL BE AS NOTED ON DRAWINGS. UNITS SHALL BE PREHUNG AND BORED. DOOR FRAMES SHALL BE VENEERED PRIMED PINE U.O. NOTED.

8.2 INTERIOR DOOR HARDWARE: AS SELECTED BY OWNER, PURCHASED AND INSTALLED BY CONTRACTOR.

8.3 EXTERIOR DOORS: 8.3.1 EXTERIOR DOORS SHALL BE AS PER SCHEDULE. DOORS SHALL BE CLAD EXTERIOR AND WOOD INTERIOR WITH STANDARD HIGH PERFORMANCE INSULATED GLASS AT ALL UNITS. REFER TO DOOR SCHEDULE FOR COMPLETE INFORMATION.

8.3.2. INSTALL ALL EXTERIOR DOORS PER MANUFACTURERS INSTRUCTIONS. PROVIDE METAL HEAD FLASHING, FOIL BACKED BUTYL DOOR FLASHING TAPE, BACKER ROD AND SEALANT AT EXTERIOR, 1" BEAD OF INSULATING FOAM TO PROVIDE FULL INTERIOR SEAL

8.3.3 STEEL DOORS AND WINDOW: PROVIDE UNITS AS INDICATED ON DRAWING. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SAMPLES FOR OWNER REVIEW.

8.3.4 GARAGE DOORS SHALL BE AS PER SCHEDULE. DOORS SHALL BE WOOD EXTERIOR AND INSULATED INTERIOR WITH INSULATED GLASS. PROVIDE ALL MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. SUBJECT TO THE APPROVAL OF THE MUNICIPALITY AND OWNER.

8.3.5 NEW GARAGE DOORS SHALL BE LABELED WITH:

- 1. MANUFACTURE
- 2. MODEL/SERIES
- 3. POSITIVE & NEGATIVE WIND PRESSURE RATING
- 4. INSTALLATION INSTRUCTIONS DRAWING REF. NUMBER.
- 5. TESTED AND MEET ADSI/DASMA108.

8.4 WINDOWS:

8.4.1 NEW EXTERIOR WINDOWS SHALL BE AS PER SCHEDULE. WINDOWS SHALL BE CLAD EXTERIOR AND WOOD INTERIOR WITH STANDARD HIGH PERFORMANCE INSULATED GLASS AT ALL UNITS. REFER TO WINDOW SCHEDULE. FOR COMPLETE INFORMATION

8.4.2. INSTALL ALL WINDOWS PER MANUFACTURERS INSTRUCTIONS. PROVIDE METAL HEAD FLASHING, FOIL BACKED BUTYL WINDOW FLASHING TAPE, BACKER ROD AND SEALANT AT EXTERIOR, 1" BEAD OF INSULATING FOAM TO PROVIDE FULL INTERIOR SEAL.

8.5 EXTERIOR DOOR HARDWARE: EXTERIOR FRENCH DOOR HARDWARE SHALL BE INTEGRAL TYPE PROVIDED BY MANUFACTURER, SELECTED BY OWNER.

8.6 WEATHER-STRIPPING: UNLESS OTHERWISE PROVIDED WITH THE NEW EXTERIOR DOORS, FURNISH AND INSTALL FULLY INTERLOCKING TYPE METAL WEATHER-STRIPPING AT ALL NEW / EXTERIOR DOORS. WEATHER-STRIPPING SHALL BE AS MANUFACTURED BY ZERO WEATHER-STRIPPING CO., OR EQUAL.

DIVISION 9 - FINISHES

GENERAL CONTRACTOR TO COORDINATE WITH DOCUMENTS PREPARED BY INTERIOR DESIGNERS.

9.1 WOOD FLOORS

9.1.2 ALL HARDWOOD FLOORING IN AREAS OF WORK SHALL BE SCRAPED, SANDED, SEALED AND STAINED ONE (1) COAT COLOR AS SELECTED AND APPROVED BY OWNER.

9.1.3 AFTER STAINING, FLOORS SHALL BE FINISHED WITH THREE (3) COATS POLYURETHANE (SATIN FINISH). PROTECT ALL FLOORS UNTIL OWNER OCCUPANCY.

9.1.4 CONTRACTOR TO PROVIDE WOOD AND FINISH SAMPLES AND MOCK-UP FOR OWNERS APPROVAL.

9.2 TILE FLOOR.

9.2.1 CONTRACTOR TO REFER TO PLANS FOR EXACT LOCATION OF AREAS TO BE TILE.

9.2.2 PROVIDE ADDITIONAL LAYER OF 1/2" UNDERLAYMENT, ISOLATION AND WATERPROOF MEMBRANE OVER 3/4" SUBFLOOR AND 4 INCHES UP WALLS. SET IN THINSET INSTALL PER MANUFACTURES RECOMMENDATIONS.

9.2.3 TILE FLOORS SHALL BE LAID IN A "THINSET METHOD". ALL FLOOR TILES SHALL BE FIRMLY SECURED AND JOINTS AND LINES KEPT STRAIGHT AND TRUE. ANY CRACKED OR BROKEN TILES SHALL BE REPLACED.

9.2.4 REMOVE ALL SURPLUS GROUTING FROM TILE, LEAVE SURFACES CLEAN, ALL JOINTS SMOOTH AND FULL. CLOSE OFF SPACES TO TRAFFIC UNTIL TILE WORK IS SET. PRIOR TO FINAL ACCEPTANCE REMOVE PROTECTION AND CLEAN AND PAINT AS NECESSARY.

9.2.5 STONE SADDLES SHALL ABUT ALL TRANSITION AREAS.

9.3 ALL GYPSUM WALL BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF CONNECTICUT STATE CODE. LATEST EDITION, STATE AND LOCAL CODE.

9.3.1 ALL WALL AND CEILINGS PROVIDE 5/8 INCH GYPSUM BOARD. IN BASEMENT PROVIDE 5/8 INCH PAPERLESS GYPSUM BOARD ON WALLS, DENS ARMOUR OR APPROVED EQUAL.

9.3.2 ALL ROOMS TO HAVE 3 COATS OF JOINT COMPOUND (LEVEL 4 FINISH). INCLUDING CLOSETS, GARAGE, 2 COATS OF COMPOUND.

9.3.3 INSTALL CEMENT BOARD ALONG ALL TUB AND SHOWER AREAS.

9.3.4 ALL WALL BOARD TO BE SCREW APPLIED.

9.3.5 OWNERS TO SELECT ALL TILES. GENERAL CONTRACTOR TO PURCHASE AND INSTALL.

9.4 EXTERIOR PAINTING

9.4.1 CONTRACTOR IS TO FURNISH AND PROVIDE ALL LABOR, EQUIPMENT AND MATERIAL TO COMPLETE THE EXTERIOR PAINTING. WORK WILL INCLUDE CLEANING AND PREPARATION OF SURFACES PRIOR TO PAINTING/ STAINING AND THE CLEANING OF ALL EXTERIOR SURFACES OF GLASS, DRIPPINGS, ETC. AT THE COMPLETION OF PAINTING THE JOB SHALL BE LEFT IN FIRST RATE CONDITION.

9.4.2 MATERIALS- BENJAMIN MOORE, SHERWIN WILLIAMS OR APPROVED EQUAL.

9.4.3 ALL EXTERIOR PVC SOFFITS, CORNICES, TRIM, ETC., SHALL BE PAINTED WITH APPROVED PVC PAINT PRODUCT. PER MANUFACTURES SPECIGATION. TWO (2) COATS OF EXTERIOR OIL BASE TRIM PAINT OVER ONE (1) PRIME COAT, A TOTAL OF THREE (3) COATS.

9.4.4 ALL EXTERIOR FASTENERS SHALL BE COUNTERSUNK AND FILLED WITH PVC PLUG, PRIOR TO 2ND AND 3RD COAT.

9.4.5 COLORS SHALL BE SELECTED BY THE OWNER.CONTRACTOR TO PROVIDE SAMPLE BOARDS FOR APPROVAL.

9.4.6 ALL WORK TO BE PERFORMED TO THE STANDARDS SET PER THE MASTERS PAINT INSTITUTE PAINTING MANUAL, LATEST EDITION.

9.5 INTERIOR PAINTING

9.5.1 ALL WALLS AND CEILINGS TO RECEIVE THREE COATS OF PAINT. ONE (1) PRIME COAT OF LOW VOC BASE PRIMER AND TWO (2) FINISH COATS OF LATEX EGG SHELL PAINT. BENJAMIN MOORE OR EQUAL. VERIFY WITH OWNER.

9.5.2 ALL WOOD TRIM TO RECEIVE ONE (1) COAT OIL BASE PRIMER AND TWO (2) COATS OF LOW VOC BASE GLOSS PAINT. BENJAMIN MOORE OR EQUAL. VERIFY WITH OWNER.

9.5.3 ALL WORK TO BE PERFORMED TO THE STANDARDS SET PER THE MASTERS PAINT INSTITUTE PAINTING MANUAL, LATEST EDITION.

9.5.3 WALLPAPER - TBD.

9.6 INTERIOR TRIM

9.6.1 TBD

9.6.2 CONTRACTOR TO PROVIDE TRIM SAMPLES AND MOCK-UP FOR OWNERS APPROVAL.

9.6.3 ALL INTERIOR COLORS SHALL BE SELECTED BY OWNER. PROVIDE SAMPLE BOARDS FOR APPROVAL.

DIVISION 10 - SPECIALTIES

10.1 BATHROOM ACCESSORIES: (MIRRORS, TOWEL BARS, HOOKS, MEDICINE CABINET, ETC.)

10.1.1 ALL ACCESSORIES SHALL BE SELECTED BY OWNER & AN ALLOWANCE FOR INSTALLATION OF ACCESSORIES SHALL BE INCLUDED IN BID. CONTRACTOR TO COORDINATE LOCATIONS WITH OWNER AND PROVIDE SOLID BLOCKING AS REQUIRED AT ALL AREAS.

10.2 OWNERS TO SELECT GAS FIRED PREFABRICATED DIRECT VENT FIREPLACE. CONTRACTOR TO PURCHASE AND INSTALL PER CODE.

DIVISION 11 - EQUIPMENT

11.1 KITCHENS, PANTRY AND LAUNDRY APPLIANCES BY OWNER.

11.2 GENERAL CONTRACTOR TO COORDINATE ALL WORK AS REQUIRED WITH APPLIANCE LIST. OWNER TO PROVIDE APPROVED KITCHEN SHOP DRAWINGS AND APPROVED APPLIANCE LIST TO GENERAL CONTRACTOR FOR COORDINATION AMONG ALL SUB-CONTRACTORS.

11.3 OWNER TO PROVIDE AND INSTALL AN AUDIO-VISUAL SECURITY SYSTEM. COORDINATE SPECIFIC REQUIREMENTS WITH OWNER.

11.4 TV/MEDIA SYSTEM BY OWNER. GENERAL CONTRACTOR TO COORDINATE.

11.4 PROVIDE ALL MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. SUBJECT TO THE APPROVAL OF THE OWNER.

DIVISION 12 - FURNISHINGS

12.1 KITCHENS, PANTRY, LAUNDRY CABINETS AND APPLIANCES BY OWNER.

12.2 OWNERS TO PROVIDE GENERAL CONTRACTOR WITH APPROVED CABINET SHOP DRAWINGS.

12.3 GENERAL CONTRACTOR TO COORDINATE ALL WORK AS REQUIRED WITH CASEWORK DESIGNER. OWNER TO PROVIDE APPROVED SHOP DRAWINGS AND APPROVED EQUIPMENT LIST TO GENERAL CONTRACTOR FOR COORDINATION AMONG ALL SUB-CONTRACTORS.

12.4 WINDOW TREATMENT AND TRACK BY OWNER. OWNER TO PROVIDE APPROVED SHOP DRAWINGS TO GENERAL CONTRACTOR FOR COORDINATION AMONG ALL SUB-CONTRACTORS.

12.4.1 OWNERS TO NOTIFY GENERAL CONTRACTOR IF WINDOW TREATMENTS REQUIRE ELECTRICAL WIRING. NOTIFY CONTRACTOR ASAP/PRIOR TO INSULATING EXTERIOR WALLS.

DIVISION 13 - SPECIAL CONSTRUCTION

13.1 N.A.

DIVISION 14 - CONVEYING SYSTEM

14.1 N.A.

DIVISION 15 - HEATING AND COOLING EQUIPMENT

15.1 TO BE SUFFICIENT TO MAINTAIN TO DEGREES F INDOOR, AT 0 DEGREES F OUTDOOR TEMPERATURE. & 75 DEGREES INSIDE WHEN IT IS 95 DEGREES OUTSIDE @ 90 DEGREES RELATIVE HUMIDITY, OR AS REQUIRED PER LOCAL CODE. PROVIDE ALL CONNECTIONS AS REQUIRED, INCLUDING BUT NOT LIMITED TO, THERMOSTAT AND CIRCULATORS. THE HVAC INSTALLATION IS TO BE IN COMPLIANCE WITH THE CONNECTICUT STATE CODES AND LOCAL CODES & AGENCIES HAVING JURISDICTION.

15.2 THE GENERAL CONTRACTOR AND HVAC CONTRACTOR SHALL PROVIDE A @DESIGN-BUILD@ HEATING AND COOLING SYSTEM FOR RECOMMENDATION/OPTIONS FOR OWNERS REVIEW AND APPROVAL. CONTRACTOR TO VERIFY THE FOLLOWING ITEMS:

- A) SIZE, LOCATION AND NUMBER OF UNITS (WITH SEER RATINGS).
- B) CFM REQUIREMENTS FOR ALL LOCATIONS.
- C) LOCATION OF THERMOSTATS AND CONTROLS.
- D) LOCATION OF CONDENSER PADS.
- E) VERIFY/LOCATION AND SIZE OF OIL TANK IN BASEMENT.

15.3 PROVIDE A WHOLE HOUSE HEAT RECOVERY AND VENTILATION SYSTEM. UNIT SHALL HAVE A MERV 8 FILTER BOX, INTERMITTENT, CONTINUOUS AND HIGH OPERATION MODES CONTROL WITH TIMER. COORDINATE WITH ELECTRICAL CONTRACTOR.

15.4 SEE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION.

15.5 FURNISH OWNER WITH OPERATING INSTRUCTIONS AND MAINTENANCE MANUALS FOR ALL EQUIPMENT. AND PROVIDE TUTORIAL ON OPERATION AND MAINTENANCE.

15.6 PROVIDE ALL MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. SUBJECT TO THE APPROVAL OF THE MUNICIPALITY AND OWNER.

15.7 ALL FLOOR REGISTERS SHALL BE RECESSED WOOD TO MATCH FLOOR. PROVIDE SAMPLES FOR OWNERS REVIEW. ALL BOOTS PAINTED BLACK.

15.8 CONTRACTOR TO VERIFY CONCRETE CONDENSER PAN LOCATION WITH OWNER. PROVIDE POWER DISCONNECT, AND LINE SETS AS REQUIRED.

DIVISION 15P - PLUMBING

15P.1 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLUMBING WORK INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED. ALL WORK SHALL CONFORM TO THE CONNECTICUT PLUMBING CODE (248 CMR 2.00), AND ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND THE PROCUREMENT OF ALL INSPECTION CERTIFICATES FOR THE COMPLETE PLUMBING INSTALLATION. THE CONTRACTOR SHALL ARRANGE FOR THE REQUIRED INSPECTIONS AND NO WORK SHALL BE CLOSED UNTIL INSPECTED AND APPROVED.

15P.2 PROVIDE ALL NECESSARY VALVES, FITTINGS, ETC. AT ALL NEW BATHROOMS AND POWDER ROOM. PROVIDE CONTINUOUS HOT WATER CIRCULATING LINE.

15P.3 PROVIDE CONNECTION TO SEWER SYSTEM.

15P.4 VERTICAL WASTE RISERS SHALL BE CAST IRON. HORIZONTAL WASTELINE SHALL BE PVC OR APPROVED EQUAL.

15P.5 COMPLETE DOMESTIC HOT AND COLD-WATER DISTRIBUTION SYSTEMS, INCLUDING ON DEMAND WATER HEATER, AND CONNECTIONS TO ALL PIPING AND FIXTURES. PROVIDE SHUTOFF VALVES AT EACH FIXTURE AND PROVISIONS TO PREVENT WATER HAMMER.

15P.6 OWNER TO PROVIDE ALL PLUMBING FIXTURES, INSTALLED BY PLUMBING CONTRACTOR.

15P.7 INSULATE ALL PIPING, VALVES AND FITTINGS IN UNHEATED SPACES, AND AS REQUIRED BY CODE.

15P.8 CLEAN AND PRESSURE TEST ALL PIPING.

15P.9 PROVIDE ALL EXCAVATION, BACKFILLING, CUTTING PATCHING AND SUPPORTS FOR ALL PIPELINES AS REQUIRED, AND AS ELSEWHERE SPECIFIED.

15P.10 THE CONTRACTOR SHALL GUARANTEE THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED, SHALL FUNCTION AND BE FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ALL MATERIALS SHALL BE FIRST QUALITY AND A DOMESTIC MANUFACTURER.

15P.11 ALL PLUMBING WORK IS TO BE PERFORMED BY A PLUMBER LICENSED TO DO WORK IN CONNECTICUT.

15P.13 PROVIDE ALL MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. SUBJECT TO THE APPROVAL OF THE MUNICIPALITY AND OWNER.

15P.14 PROVIDE FROST-FREE HOSE BIB AT EACH EXTERIOR DOOR. VERIFY WITH OWNER.

15P.15 SEE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION.

DIVISION 16 - ELECTRICAL

16.1 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ELECTRICAL WORK INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED. ALL WORK SHALL CONFORM TO THE CONNECTICUT ELECTRICAL CODE (527 CMR 12.00), LOCAL UTILITY COMPANY, AND ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND THE PROCUREMENT OF ALL INSPECTION CERTIFICATES FOR THE COMPLETE ELECTRICAL INSTALLATION. THE CONTRACTOR SHALL ARRANGE FOR THE REQUIRED INSPECTIONS AND NO WORK SHALL BE CLOSED UNTIL INSPECTED AND APPROVED.

16.2 PROVIDE AND INSTALL ALL WIRING, PANELS, CONDUITS AND SWITCHES AND LIGHT FIXTURES AS INDICATED ON THE DRAWINGS OR OTHERWISE CALLED FOR ACCORDING TO CODE.

16.3 PROVIDE AND VERIFY 200 AMP SERVICE. INSTALL SERVICE UNDERGROUND.

16.4 LIGHTING AND POWER PANEL BOARDS AS OUTLINE IN DRAWINGS SHALL BE OF ENCLOSED CIRCUIT BREAKER TYPE SUITABLE FOR OPERATION ON A 120/ 240 VOLT, 1 PHASE, 3 WIRE GROUNDED SYSTEM. NEW PANEL BOARDS SHALL HAVE A TYPED DIRECTORY, PROPERLY IDENTIFYING EACH CIRCUIT AS OUTLINED ON DRAWINGS.

16.5 ALL MATERIAL SHALL BE NEW AND SHALL BE UL LISTED.

16.6 OUTLETS FOR LIGHTING FIXTURES, WIRING DEVICES, ETC. SHALL BE PVC OR #14 GAUGE GALVANIZED STEEL OUTLET BOXES, SUITABLE FOR CASTING IN PLACE. OUTLET BOXES SHALL BE FOUR (4) INCHES MINIMUM IN SIZE AND OF SUCH FORM AS TO BE ADAPTED TO THEIR SPECIFIC USAGE, LOCATION, AND SIZE AND NUMBER OF CONDUITS CONNECTING THERETO. THE HEIGHTS OF VARIOUS ELECTRICAL SWITCHES AND OUTLETS SHALL BE AS SPECIFIED ON DRAWINGS. WHERE MULTIPLE DEVICES ARE MOUNTED TOGETHER, A GANG BOX SHALL BE USED WITH A SUITABLE COVER.

16.7 PROVIDE GROUND- FAULT CIRCUIT INTERRUPTER TO ALL RECEPTACLE OUTLETS AT EXTERIOR LOCATIONS, AND "WET" LOCATIONS

16.8 SURFACE FIXTURES SUPPLIED BY OWNER INSTALLED BY CONTRACTOR. RECESSED LIGHT FIXTURE SUPPLIED BY AND INSTALLED BY CONTRACTOR.

16.9 DUPLEX RECEPTACLES SHALL BE INSTALLED PER CODE.

16.10 FURNISH OWNER WITH OPERATING INSTRUCTIONS AND MAINTENANCE MANUALS FOR ALL EQUIPMENT.

16.11 ALL ELECTRICAL WORK TO BE DONE BY AN ELECTRICIAN LICENSED TO WORK IN CONNECTICUT.

16.12 INSTALL LUMINAIRES AND ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, ALIGN AND CLEAN LUMINAIRES.

16.13 ALL HOLES THROUGH PLATES IN WALL SHALL BE FIRE STOPPED.

16.14 CONTRACTOR SHALL INCLUDE IN BID, CO-ORDINATION, AND INSTALLATION OF ALL ELECTRICAL WIRING REQUIRED FOR KITCHEN APPLIANCES.

16.15 PROVIDE LIGHTNING CONTROL AS PER STATE OF CONNECTICUT CODES (LATEST EDITION).

16.16 PROVIDE ALL MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. SUBJECT TO THE APPROVAL OF THE MUNICIPALITY AND OWNER.

16.17 PROVIDE UNDERGROUND 200 AMP SERVICE. VERIFY WITH OWNER.

16.18 PROVIDE POWER REQUIREMENTS FOR ALL OWNER SELECTED APPLIANCES AND SPECIALTY ITEMS, INCLUDING BUT NOT LIMITED KITCHEN/PANTRY APPLIANCES, ILLUMINATED CABINETS/MIRRORS, BATHROOM FIXTURES ECT. PROVIDE IN ACCORDANCE WITH MANUFACTURES REQUIREMENTS.

16.19 RELOCATE EXISTING STANDBY GENERATOR WITH AUTOMATIC TRANSFER SWITCH. PROVIDE ALL MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. SUBJECT TO THE APPROVAL OF THE MUNICIPALITY AND OWNER.

16.20 SEE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION.

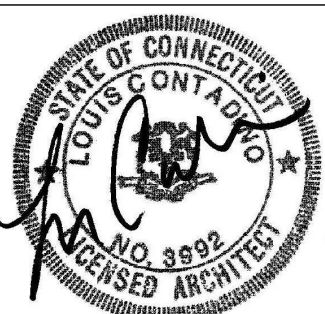
16.21 PROVIDE SURGE PROTECTION DEVICE AT METER AND SERVICE PANEL PER CODE WITH MARKINGS.

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IF DISCREPANCIES OCCUR. DO NOT SCALE DRAWINGS.

ALTERATIONS AND ADDITIONS TO THE:  
BRUNO RESIDENCE  
47 RIDGE STREET  
COS COB, CT 06807

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09-19-2023

REV. DATE

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